



General
A
section

The Grove

A Traditional Neighborhood Development

Master Plan and Design Codes

The Grove . Master Plan and Design Codes

A
Title Sheet

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The Grove
A Traditional Neighborhood Development

Master Plan and Design Codes

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Baton Rouge , Louisiana

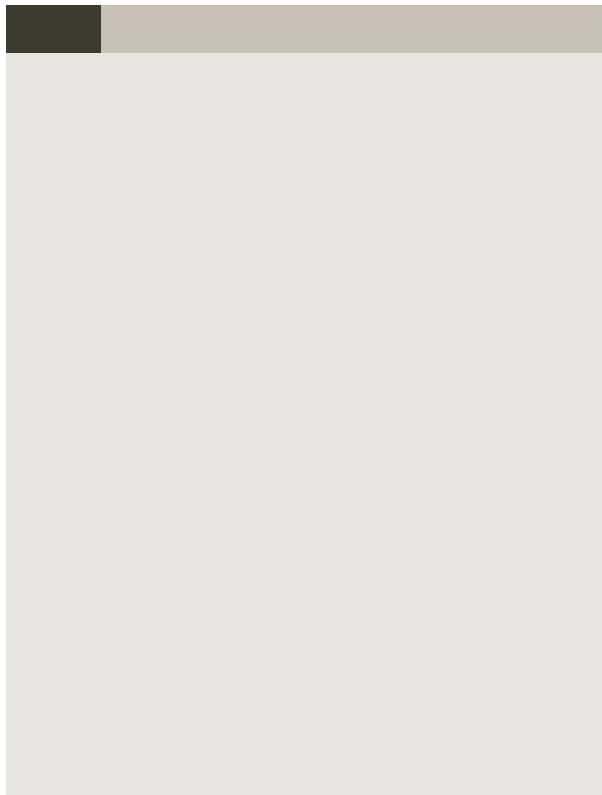


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The Grove

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Disclaimer

The Grove Master Plan & Design Codes, including the urban regulating standards, thoroughfare standards, and architectural standards described and depicted herein, are based on current development plans which are subject to change without notice.

The materials are intended to provide guidance regarding the planning vision, architectural character and appropriate architectural detailing that is required to be incorporated into the design. These guidelines are not intended to constitute a complete list of all criteria that must be satisfied in order for proposed designs to be acceptable to the Grove Design Review Board, nor will compliance with all of the requirements and criteria set forth in these conceptual plans and materials ensure the approval for any particular designs by the Grove Design Review Board. The Grove Design Review Board reserves the right to impose additional or different design requirements on any improvements to be constructed within the project. These design materials, urban design, thoroughfare standards, and architectural standards are subject to change without notice.

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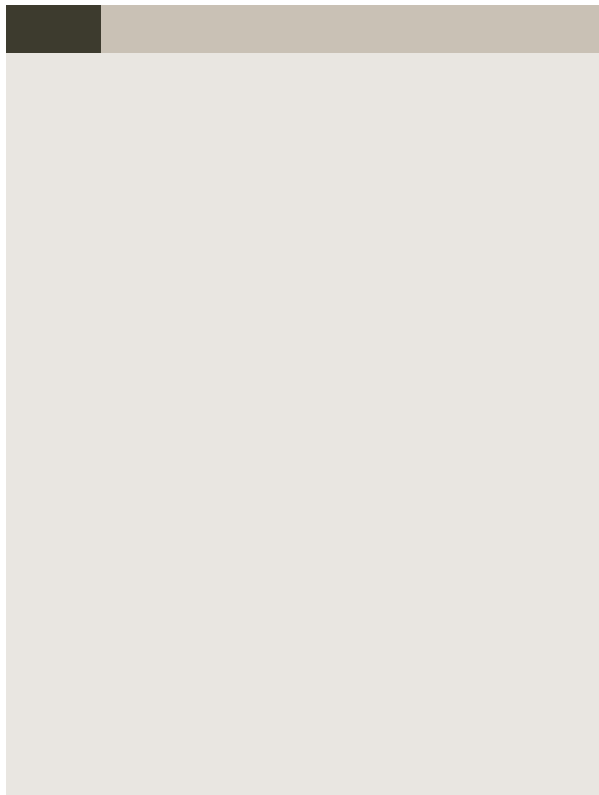
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Guiding Principles



THE FUNDAMENTALS OF NEW URBANISM

The method in which so many of our local ordinances are actualized effects every aspect of our daily lives and, therefore, directly affects our human behavior. The Grove believes that our built environment not only affects the visual aspects of our life, but allow the patterns and types of choices we make as a result. This direct interdependence to the access of our daily, individual “life essentials” is worthy of monumental consideration.

Human response has been conditioned over the last fifty years to revolve around the automobile. While this has afforded great convenience, it has also managed to take the “humanness” out of our communities and civility out of our lives. The complexity of healthy town planning requires a thorough and diverse approach to properly address the process of problem identification and appropriate solution orientation.

DESIGN PRINCIPLES

The best examples of developments that offer a sense of security, human relevance and comfort to the resident are found in older towns - more specifically, small Southern towns. The way these small towns developed more than one hundred years ago were a matter of what made sense: what best accommodated the daily life of the individual. These towns were not concerned with the demands of the automobile but with the simple needs of the person.

Public gathering places, front porches and tree lined sidewalks emerged not from zoning ordinances but as obvious needs to be fulfilled. There were no case studies or paradigms to guide our fore-fathers in the planning of their community; they used common sense. They sought to find direct solutions to address the daily life functions of the people as well as to find relief from the climatic conditions of the region. They then constructed these structures in such a fashion to remain timelessly pleasing to the eye.

THE MASTER PLAN

The Master Plan of the Grove seeks to define the community by means of strategies, drawings, and covenants. The Master Plan is the framework from which all growth shall be defined and nurtured. The purpose for such documents is to ensure that the original intent of the community is maintained throughout its construction, thereby stabilizing the historical integrity and functional continuity of the town.

The drawings will illustrate the standardized governing architectural styles and scale for the different types of structures. Generous variations will be allowed but only upon review by an architectural Design Review Board. The intent is not to create “cookie cutter” housing by any means, but rather to reflect a regional and historical benchmark.

Street sections and utility requirements will also be addressed in the drawings and in the covenants. Street sections refer to the spatial relationships of the buildings to the sidewalk, the trees to the road and ultimately to the pedestrian. Waivers and variances on the typical local setbacks are adopted to further enhance the character of the community.

Plazas, public buildings and parks will be an integral part of the Master Plan. Some plazas will serve as additional parking while other squares will remain strictly pedestrian. The public buildings and gathering halls will service social, cultural and religious activities or can be reserved by individuals for private use by the residents. Parks and linear green space will be woven within the development lending themselves to diversity and security.

THE CODE

This Document, as a guideline, is intended to outline the requirements for a new traditional neighborhood community. The Parish and City Planning Commissions will need to coordinate the required variances to its current zoning/planning criteria with this document and review them with the planner.

To the extent this ordinance does not specifically address components or requirements of the zoning and/or land use ordinances of the Parish, the existing ordinances shall control. To the extent there is a conflict, these requirements shall control. It being understood that these requirements shall be deemed approved assembly of products waivers on conflicting requirements provided by existing Parish ordinances.

The codes adopted for the neo-traditional community are specific to the indigenous character of this development ensuring continuity and harmony. Most municipalities have utility and setback regulations based on the old subdivision models of the 1940’s and 50’s. These regulating standards will not support the neo-traditional model and must be revised.

Some of the elements that are universally addressed in the master planning phase are the control of building techniques, materials, on street parking and utility line placement. Equally as important is the flow of traffic through a network of interconnecting street grids. The idea is to eliminate dead-end roads and cul-de-sacs which limit access and breed confusion.

The disbursement of housing types will be of prime consideration. Affordable housing will not be placed in tracts or segregated locations. Instead, alternative options such as garage apartments rentals or apartments over retail or office spaces will be allowed. This mixed use code structure will allow for flexibility as well as provide unique opportunities for single income housing.

MISSION STATEMENT

By Owner.

VALUES

By Owner.





As used in this Design Code, any capitalized terms not defined below shall have the meanings indicated in the Declaration of the Grove, such definitions being incorporated herein and made a part hereof. In addition, the following terms shall have the meanings indicated below:

THE TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND)

- 1) The traditional neighborhood shares the following conventions:
 - a) The neighborhood is physically understood and limited in scale.
 - b) Residences, shops, workplaces and civic buildings are located in the neighborhood all in close proximity.
 - c) A hierarchy of streets serve the needs of the pedestrians and the automobile equitably.
 - d) Physically defined squares and parks provide places for formal social activity and recreation.
 - e) Private buildings on a clear edge delineate the public space from the block interior.
 - f) Civic buildings and squares reinforce the elements of the neighborhood becoming symbolic of community identity and providing places of purposeful assembly for social, cultural, and religious activities.
- 2) Traditional neighborhoods promote social objectives.
 - a) By bringing within walking distances most of the activities of daily living, including dwelling, shopping and working; the elderly and the young gain independence of movement.
 - b) By reducing the number and length of automotive trips, traffic congestion is minimized and road construction is limited. By organizing appropriate building densities public transit becomes a viable alternative to the automobile.
 - c) By providing defined public spaces such as streets and squares, citizens come to know each other and to watch over their collective security.
 - d) By providing a full range of housing types and work places, age and economic class are integrated and the bonds of an authentic community are formed.
 - e) By providing suitable civic buildings, democratic initiatives are encouraged and the balanced evolution of society is secured.

SPECIAL DEFINITIONS

* Important, Read these definitions before an attempt is made to apply this code.

Alley: A traditional, walkable thoroughfare serving the pedestrian mobility and access needs at the rear of residential units in other than the town center. Other functions include trash removal and utility service. Utilities are usually placed in lanes. Drainage runs to swales with grass areas at the edges of the travel way. Pavement is generally 9 to 10 feet wide with two way “yield street” traffic flow at 15 mph. Windows facing the lane help maintain security. Garage apartments can help provide this added security. (HPE).

Alley Zone: The Alley Zone includes the areas between the alley pavement and the rear garden wall or other structure. Part of the Alley Zone is in the public right-of-way and the rest is on the Private Lot. Landscape improvements in the Alley Zone are an important part of the community and are subject to the requirements of the Landscape Code. Maintenance of landscaping in the Alley Zone is the responsibility of the adjacent Homeowner.

Apartments: A dwelling not coinciding with an individual lot such that the lot is shared with other apartments and/or another use category.

Auxiliary Structure: Buildings used for uses other than housing; i.e. greenhouses, garden structures, sheds, etc. The architectural character including colors, details, and materials shall match that of the principle structure.

Back yard: (Private Yard) The area(s) that are at the back of a building, normally separated by building and/or garden wall from the street and alley. These areas are generally landscaped for the enjoyment of the individual landowner and as such, when garden walls are present, are not subject to all of the requirements imposed on the more public landscapes in the community. (Landscape Code)

Balustrade: An entire railing system along the edge of a balcony, including a top rail and its balusters and sometimes a bottom rail.

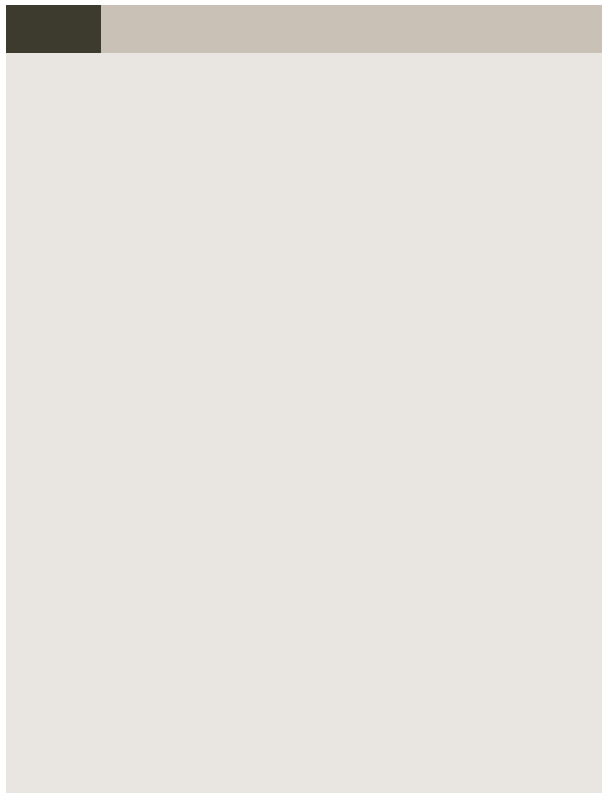
Bay: A part of a structure as a building that is marked off by vertical elements.

Bay Window: A recess or opening in a wall, or an extension of a building wing.

Bikeways: Thoroughfares dedicated specifically to, or available for, bicycle use. The general network of thoroughfares, if correctly dimensioned, is generally usable by cyclists sharing lanes with motor vehicles moving slowly. Specialized accommodation is required only where the speed of traffic precludes sharing. (Duany Plater-Zyberk & Company, F2)

Block: The aggregate of lots and allies circumscribed by public use tracks, generally streets.





Boulevard/Avenue: A principal traditional thoroughfare designed to encourage pedestrian mobility and connecting centers within communities. Avenues and boulevards generally serve multiple land uses and have center medians, street trees, sidewalks and parallel parking. Buildings are near the sidewalk to optimize pedestrian access and mobility. Auto mobility is secondary. (HPE)

Building Cover: The horizontal land area occupied by a building at finished grade, excluding open porches, loggia, projections, and overhangs of less than two feet.

Bungalow Court: A semipublic landscaped area between front yard lot lines for homes that face one another without a street or alley between them. Bungalow courts provide access via sidewalks to the front of homes that do not front on a street.

BTL: Built-to-line.

Carport: An open air structure with a weatherproof roof to shelter automobile no more than one story in height.

Chamfered: A right angle corner cut symmetrically at forty-five degrees.

Charleston Side Yard: This is a residential building type that occupies one side of a lot leaving a generous side yard for placement of a garden or providing front access to outbuildings behind. This house type responds to climatic orientation with a one- or two- story porch oriented with respect to prevailing winds and sun. The landscape treatment of side yard area should reflect the importance of the interior-exterior relationship.

Civic Building Reservation: The systematic reservation of sites for civic buildings. Civic sites should be associated with honored locations at plazas or squares, or at the termination of vistas. (Duany Plater-Zyberk & Company, M4.4)

Civic Uses: Premises used by organizations considered to support the common good and therefore accorded special treatment within traditional neighborhood developments. Civic Uses include educational, cultural, social, service, and religious not-for-profit organizations. (Duany Plater-Zyberk & Company, M4.4)

Cladding: Exterior surface material of a building.

Clapboard Siding: A siding commonly used as an exterior covering on a building of frame construction applied horizontally and overlapped with the grain running lengthwise, thicker along the lower edge than along the upper edge.

Classical Proportions: A series of ratios developed over the course of centuries and believed to result in pleasing proportions for buildings and building elements. Based on Greek and Roman principles, various systems for classical proportions were developed and modified through the centuries. In the United States, there are a number of publications with these principles including *The American Vignola*.

Classical Orders: The design of systems of columns and cornices derived from Ancient Roman and Greek precedence defined by the trivialis and modified through the ages by Italian, French, Spanish, and English Architects. This system of columns controls the dimensions of the cornices they carry. Columns within Project Name are based upon Claude Perrault's ordinance of the five types of columns are Tuscan, Doric, Ionic, Corinthian and Composite.

Colonnade: A roofed structure supported by columns.

Commercial Street: Appropriate for commercial buildings at Center and Core Zones. Trees are confined by individual planters, creating a sidewalk of maximum width, with areas accommodating street furniture. (Duany Plater-Zyberk & Company, G1.2)

Commercial Use: A general category of building use which includes office, retail, and manufacturing uses but excludes residential, lodging, and civic. (Duany Plater-Zyberk & Company, M4.4)

Corinthian: Designating the most ornate of the three classical orders of Architecture marked by a slender fluted column having an ornate bell shaped capital decorated with acanthus leaves.

Corner Lot: A lot situated at the juncture of two or more streets.

Cornice: An ornamental molding at the meeting of the roof and wall, usually consisting of bed molding, soffit fascia and crown molding.

Cottage House: A relatively small single family detached house on a small lot, usually with rear loaded parking. Cottage houses can be grouped, facing a mews, small common or green in a court. A cottage court is often, but not always, arranged in a U-shape. Units are separated from the common area only by a sidewalk, path or non-vehicular way. Parking is from rear lanes, alleys or in a common, rear loaded lot. (Zimmerman/Volk Associates, Inc.)

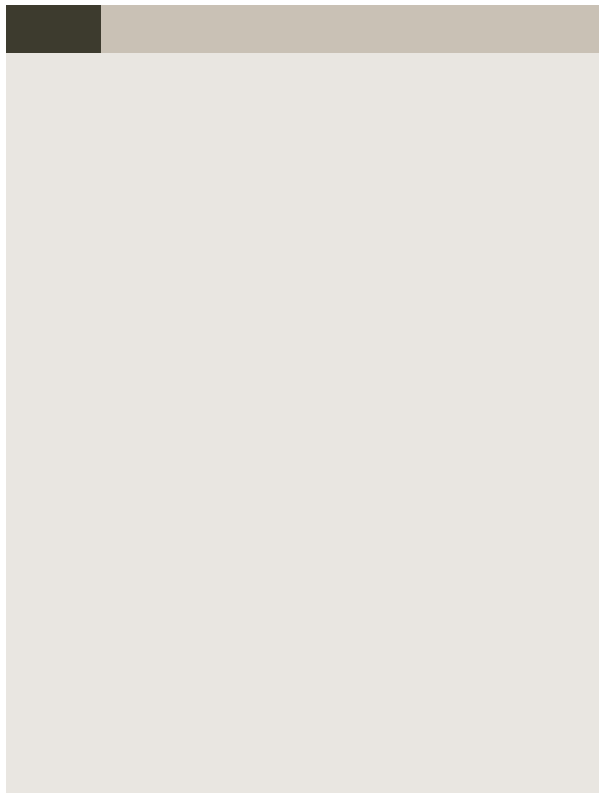
Courtyard: An open space surrounded by walls and buildings measured 12'-0" at its minimum depth.

Courtyard Apartment Building: A pedestrian oriented equivalent to conventional garden apartments, either for rent or for sale. A courtyard building is three or more stories, and can be combined with nonresidential uses on the ground floor. The building can be configured in a U-shape or open square, with parking integral to the building, below grade, or in an open lot to the rear. The courtyard apartment building has a relatively shallow setback from the street; in town center or urban locations, the structure is built to the sidewalk edge and, to provide privacy and a sense of security, the first living floor is elevated significantly above grade. (Zimmerman/Volk Associates, Inc.)

Curb Radius: The curved edge of the street at an intersection measured at the inner edge of the outer most curb.



Terms and Definitions continued



Deck: Any wooden platform without a solid roof structure.

Dentil: One of a series of small rectangular blocks forming an architectural molding or projecting beneath a cornice.

Doric: The column and entablature developed by the Dorian Greeks. Sturdy in proportion with a simple cushion capital.

Dormers: A structure projecting from a sloping roof usually housing a window or ventilating louver.

Drive: A special traditional thoroughfare serving pedestrian mobility, similar to a Street, with developed, urban character on one side and natural area on the other (such as a Playa, wetland or wooded area). Auto mobility is secondary. (HPE)

Driveway: A vehicular access way within a private lot connecting a garage to a thoroughfare. (Duany Plater-Zyberk & Company, F6.1)

DRB: Design Review Board.

Eaves: The lowest overhanging part of sloping roof.

Edge House: A large single family detached house designed for an edge or boulevard condition, often with front loaded parking. As with the neighborhood house, the garage, attached or detached, is set well back from the front façade. (Zimmerman/Volk Associates, Inc.)

Facade: The front most component of a facade which includes porches, galleries, arcades, etc. used to establish the edge of a setback parallel to a frontage line.

Fascia: The wall of a building parallel to and corresponding to a frontage line.

Fence: A semi-transparent property edging, 2'-6" to 3'-6" high, made of painted wood, ornamental iron, masonry, a combination of the above, or a hedge generally used to separate the front yard (semi-public) from sidewalk (public) area.

Footprint: The total area of structure as measured at the ground level. When enclosed space is located above a porch or cantilevered out from the lower floor, the footprint of heated and cooled space shall include the enclosed space on the upper level.

Frieze: A plain or decorated horizontal part of an entablature between the architrave and cornice.

Frontage Line: (Right-Of-Way, syn.) The lot line which coincides with the street track.

Front Yard: The area between the property line and the front of the house, including the areas on each side back to the garden wall. On corner lots with a side yard that faces the street, the side yard area between the property line and the side of the house and/or garden wall or fence shall be defined as Front Yard for the purpose of landscape treatments. Front yards, while privately owned and maintained are an important part of the community character and, as such, are strictly regulated by the landscape code.

Gable: The vertical triangular portion of the end of a building having a double sloping roof from the level of the cornice or eaves to the ridge of the roof.

Garage: An enclosed structure to shelter automobiles.

Garden Structure: Pavilions, gazebos, harbors, pergolas, and other similar structures no more than one story in height.

Garden Wall: An opaque fence or wall not exceeding seven feet in height, made of natural stained wood, masonry, stucco, and/or ornamental steel, or a combination of the above, generally used to separate sideyards or a back yard (private) from the street or alley (public) area.

Green: A medium sized public space available for unstructured recreation, circumscribed by building facades, its landscape consisting of grassy areas and trees, naturalistically disposed and requiring only limited maintenance. Green could include any amenities that support recreational use intended. (Duany Plater-Zyberk & Company, E1)

Hipped Roof: A roof which slopes upward from all four sides of a building requiring a hip rafter at each corner.

Ionic: The classical order of Architecture designated by the Ionic Greeks, characterized by its capital with large volutes. Entablature usually contains a continuous frieze, and dentils in the cornice. Ionic details are typically elegant and less heavy than Doric.

Light: An aperture through which daylight is admitted into the interior of a building. A pane of glass, a window, or compartment of a window.

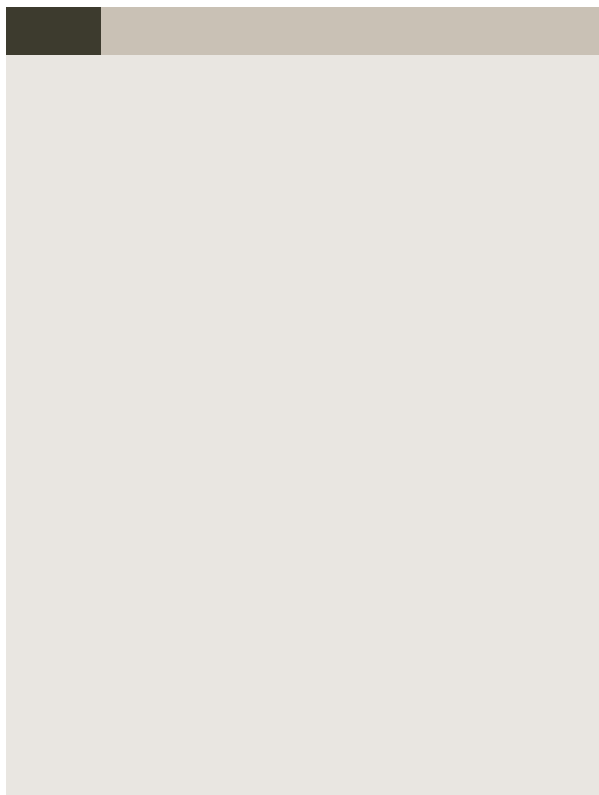
Live Work Unit: A rear yard, fully mixed-use building type with one dwelling above or behind a commercial space. (Duany Plater-Zyberk & Company J2)

Loggia: A roofed but open gallery or arcade along the front or side of a building often at an upper level.

Lot: A separately platted portion of land containing a use held privately.

Lot Line: The boundaries that legally and geometrically demarcate the edges of parcels held in private ownership and intended primarily for the construction of buildings. (Duany Plater-Zyberk & Company, H2.2)

Lot Width: The dimension of the frontage line (the lot boundary that coincides with the principal fronting thoroughfare). (Duany Plater-Zyberk & Company, H2.2)



Main Body: The largest part of the front fascia. It includes the front door of the house.

Main Street: A traditional, pedestrian serving thoroughfare with features that encourage pedestrian movement, serving a compact mix of land uses, and potentially including retail, office and residential. Main Streets have parallel parking on both sides and, where the uses are more compact and activity is more intense, angle (or diagonal) parking is specified. Buildings front the sidewalk to optimize pedestrian access to commercial establishments. Motor vehicle mobility is important, but subordinate to pedestrian mobility. (HPE)

Mansion Apartment Building: A small scale, two- or three-story apartment building, often with a street façade resembling a large detached house. Shall have no more than 8 units per building. (Zimmerman/Volk Associates, Inc.)

Meeting Hall: A building equipped by design for public assembly.

Multifamily Residential: Any dwelling structure consisting of more than one dwelling unit.

Muntin: A secondary framing member to hold panes for windows, window walls, or glazed doors.

Natural Area: Waterways, wetlands, and nature preserves to be preserved and perpetuated.

Neighborhood House: A two story, single family detached house relatively close to the street with attached, detached, or open parking; whether rear loaded or not set well back from the façade. (Zimmerman/Volk Associates, Inc.)

Neighborhood Proper: The built-up area of a TND including blocks, streets, squares, and parks.

Ogee Gutters: A double curve formed by a union of a convex and concave line resembling an S-shape.

Open Space: Area free of buildings that, together with a well designed system of thoroughfares, provides a public realm at all scales of urbanism, from the region to the block. (Duany Plater-Zyberk & Company, E1)

Out Looker: A member which projects and supports that part of the roof construction beyond the face of gable.

Out Building: A separate or attached building additional to the principal building, adjacent with the rear lot line of a maximum of two stories, and having a maximum building footprint of 450 square feet (s.f.). The architectural character shall match that of the principle structure.

Overhead Connector: A walk, deck, or similar structure that connects the house with an out-building or garden structure at any level other than the first floor.

Park: An outdoor public tract naturalistically landscaped, not more than ten percent paved and surrounded by the frontage line of lots on at least fifty percent of its perimeter. Parks may contain wetlands and could include any amenities that support recreational use intended.

Parkway: (Tree Lawn) The area between the property line and back of street curb along all streets, this zone is typically located in public right-of-way and is not part of the lot. This area generally consists of regularly spaced canopy-type street trees, sodded lawn, street lighting, signage, monumentation and utilities where required. These provide a consistent edge treatment, shade and enhancement for the public streets in the community. Maintenance of the Parkway/Tree Lawn Zone shall be the responsibility of the adjacent landowner, except as otherwise determined by the Developer.

Patio: A hard surfaced area without a solid roof structure.

Pediment: A wide, low pitched gable surrounding the fascia of a Grecian styled building.

Pergola: An open air garden structure with a trellis roof.

Porch, Gallery, Veranda: A covered outdoor area attached to a house.

Portal: A large and imposing doorway entrance or gate.

Portico: A walkway or porch with a roof supported by columns, often at the entrance of a building.

Preserve: Open space that is permanently protected from development..

Primary Residence: The primary dwelling structure on a lot.

Privacy Fence: See Garden Wall.

Private: That which is neither public nor civic.

Private Yard: See definition of Back Yard. (Landscape Code)

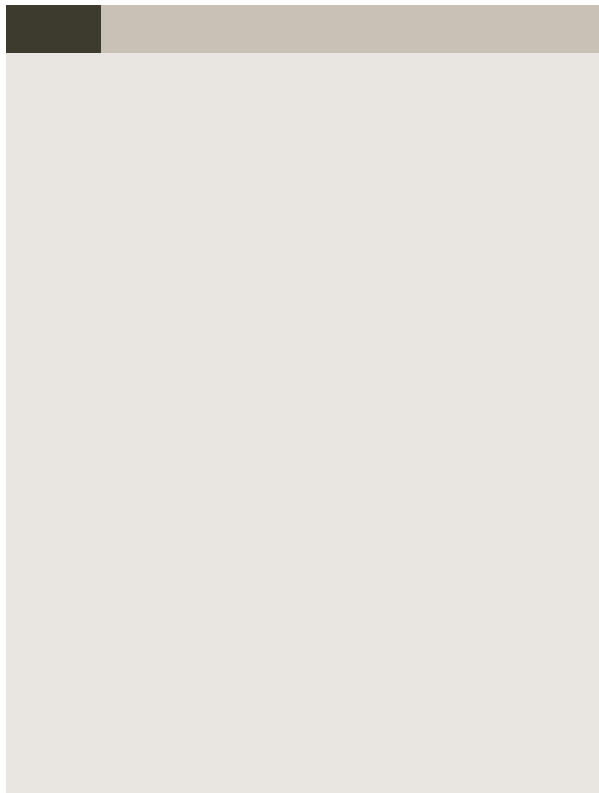
Reserve: A designation applied to areas intended for temporary preservation until release for urbanization. A release is the process of redesignating reserved land for urbanization according to established criteria.

Setback: The placement of a building or structure from property line to exterior of wall. Roofs are permitted to overhang setback by 24" at all setbacks including a "0" lot line.

Shared Parking: Where day, night, or weekday/holiday schedules allow for the use of parking spaces by more than one user such as with meeting halls, religious buildings, and dwelling retail combinations.

Side Yard Setback: The minimum distance from the side property line adjacent to another lot or public right-of-way to any part of the house or ancillary structure.





Single Family Dwelling: A dwelling consisting of one dwelling unit.

Square: An outdoor public tract spaciouly defined by its surrounding buildings as a room that is defined by its walls, and adjacent to streets on at least two sides. Squares shall be partially paved and surrounded by shop front use or row house use lots on at least sixty percent of its perimeter. One third of the sixty percent may be substituted by a natural spatial border such as a water front for at least one side. Commercial uses shall be permitted on all of the surrounding lots.

Stairs: a flight of steps for the purpose of accessing floors or levels beyond the first floor.

Stoops/Steps: a short flight of steps for the purpose of accessing the first floor or level.

Story: A habitat level within a building no more than fourteen feet in height from finished floor to finished ceiling.

Street: A general, traditional thoroughfare serving pedestrian mobility, with two or four travel lanes and parking generally on one or two sides. Motor vehicle mobility is vital, but subordinate to pedestrian mobility. In low volume areas requiring very distinct speed control, yield streets are specified where two opposing vehicles meeting would require one to slow and pull aside. Green Streets have added separation via wider planting strips. (HPE)

Street Edge: A masking structure stretching along the frontage line or coplanar with the facade, designed to remedy a gap of spatial definition or to mask parking. A street edge shall consist of one or a combination of the following: a solid masonry wall, matching the finish of the principal structure; a fence not less than 50% opaque; or a dense hedge (Duany Plater-Zyberk & Company H2.1)

Street Lamps: A light standard between eight and fourteen feet in height equipped with an incandescent or metal halide light source.

Street Vista: The view framed by buildings at the termination of the axis of a street.

Street Wall: A masonry or wood wall no less than seventy-five percent opaque built along the frontage line and between seven and fourteen feet in height. Any opening must be gated. The percent opaqueness shall be calculated including all openings.

Terrace: An upper level outdoor living area without a solid roof.

Through Street: Through streets may provide primary access to and/or border but not pass through a neighborhood proper. In the event through streets border or pass through a neighborhood proper, there shall be between the frontage line and the street lanes a sidewalk of not less than six feet, at least one lane of parking, at least one ten foot travel lane and a planted area with trees planted no further than fifty feet apart. Through streets will generally be constructed in accordance with the existing City/Parish road and street regulations as supplemented by the Project Name street plat.

Tower: A small room, porch, or deck which protrudes from the maximum height allowed for a residence.

Townhouse: A residential dwelling attached to a similar dwelling.

Tract: A separately platted portion of land containing a use held in common.

Transom: A small hinged window above another window or door. The horizontal cross piece to which such a window is hinged.

Tree (Shade): A deciduous tree of wide canopy resistant to root pressure of proven viability in the region no less than four inch caliper and eight foot vertical clear trunk at the time of planting.

Tree (Street): A deciduous tree resistant to root pressure of proven viability in the region no less than four inch caliper and eight foot vertical clear trunk at the time of planting.

Tree Lawn: See definition of Parkway.

Utility Alcove: A utility niche located on lots, intended for use by public utilities (see plat).

Village Center: The dense multifunctional social condenser of a neighborhood. It is usually at a City location, within walking distance of the surrounding, primarily residential areas. (Duany Plater-Zyberk & Company)

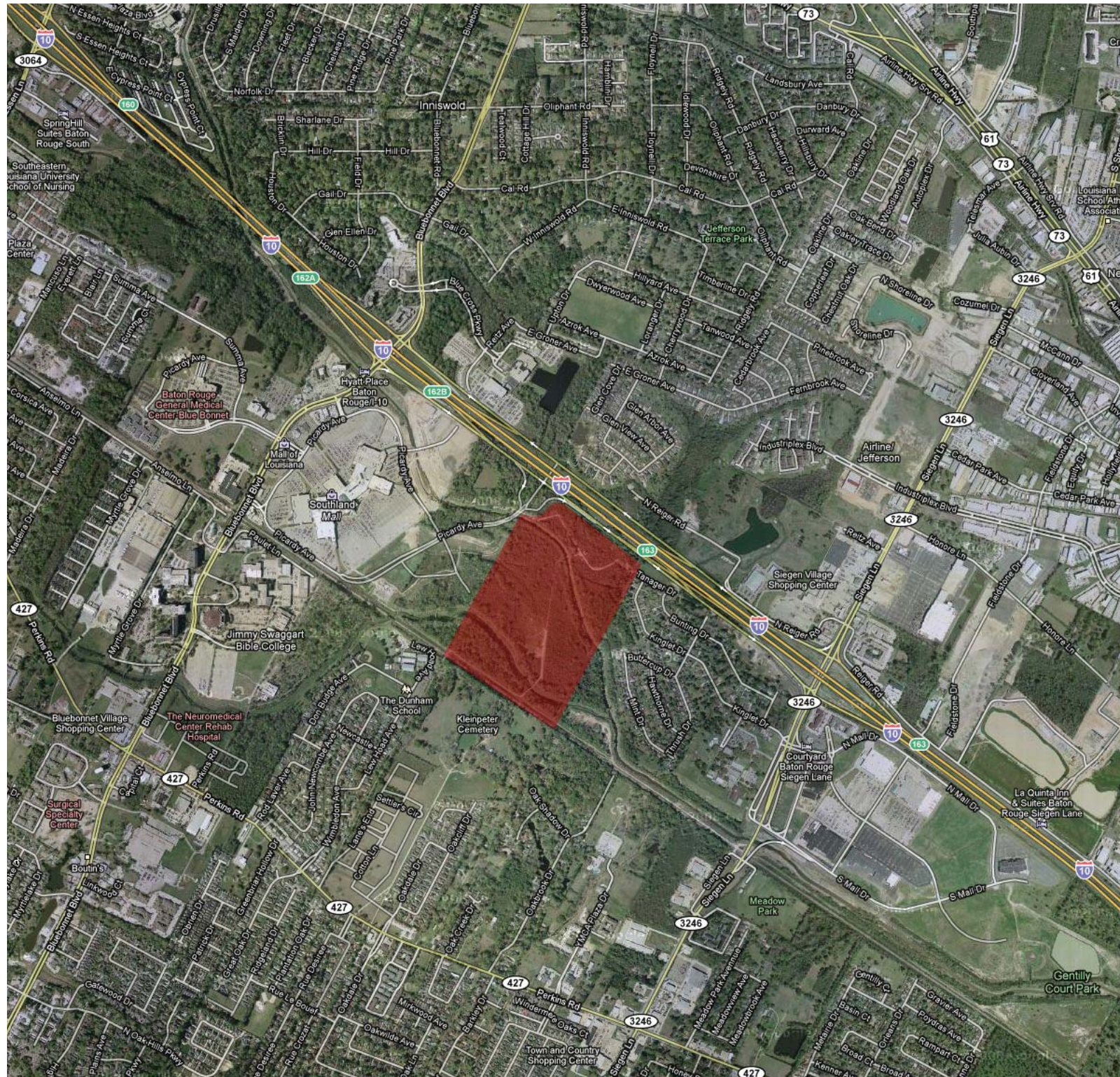
Village Edge: The least dense, most purely residential sector of the neighborhood. The size varies in proportion depending on whether the model is more rural (village-like) or more urban (town-like). (Duany Plater-Zyberk & Company)

Village General: The sector that is mixed in function, but principally residential. It has a generalized character, and is usually the largest area of the neighborhood. (Duany Plater-Zyberk & Company)

Village House: A one and a half or two-story single family detached house on a small lot, often with rear loaded parking. Parking must be rear loaded on lots narrower than 50 feet. (Zimmerman/Volk Associates, Inc.)



Regional Map



The Grove . Master Plan and Design Codes section **A** General

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The Grove

A Traditional Neighborhood Development

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Baton Rouge , Louisiana

Master Plan and Design Codes



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A Regional Map



Existing Conditions



EXISTING R.O.W. AND EASEMENTS



EXISTING WETLANDS AND STREAMS



EXISTING FLOODPLAIN





Design Vision

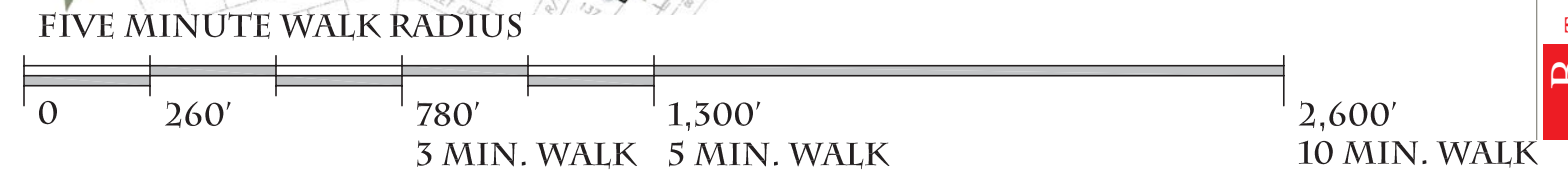
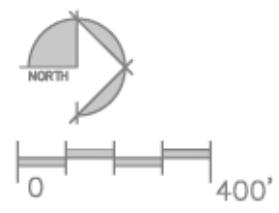
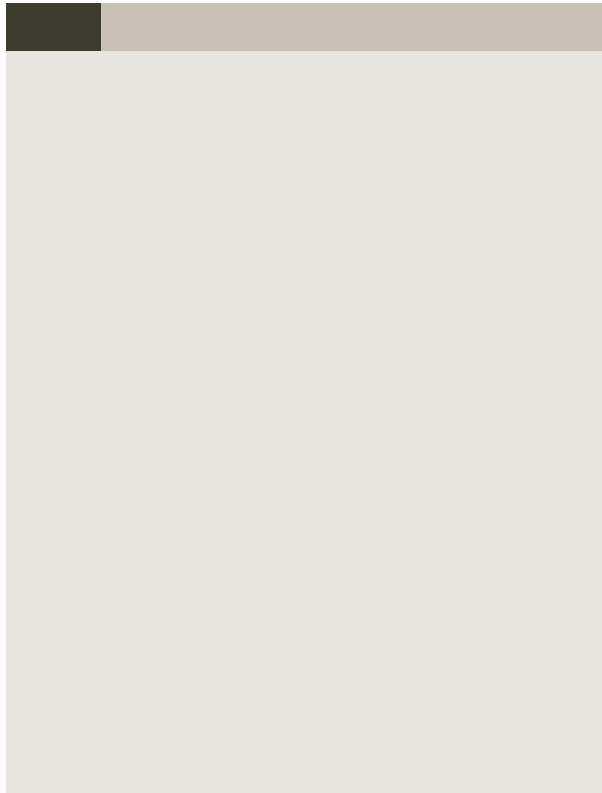


Master Plan

section B Design Vision



The Grove . Master Plan and Design Codes



FIVE MINUTE WALK RADIUS

3 MIN. WALK 5 MIN. WALK

10 MIN. WALK

Town Plan

ARCHITECTS SOUTHWEST The Grove A Traditional Neighborhood Development

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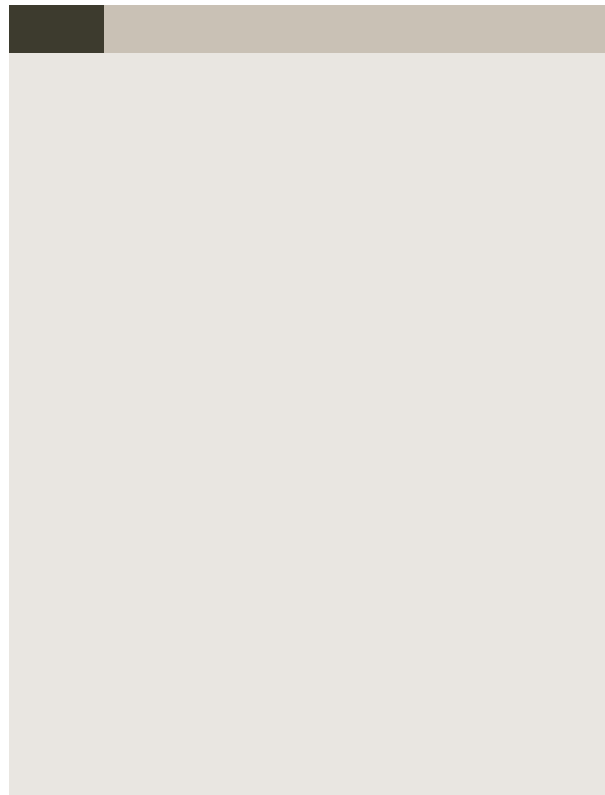
Baton Rouge , Louisiana

Master Plan and Design Codes

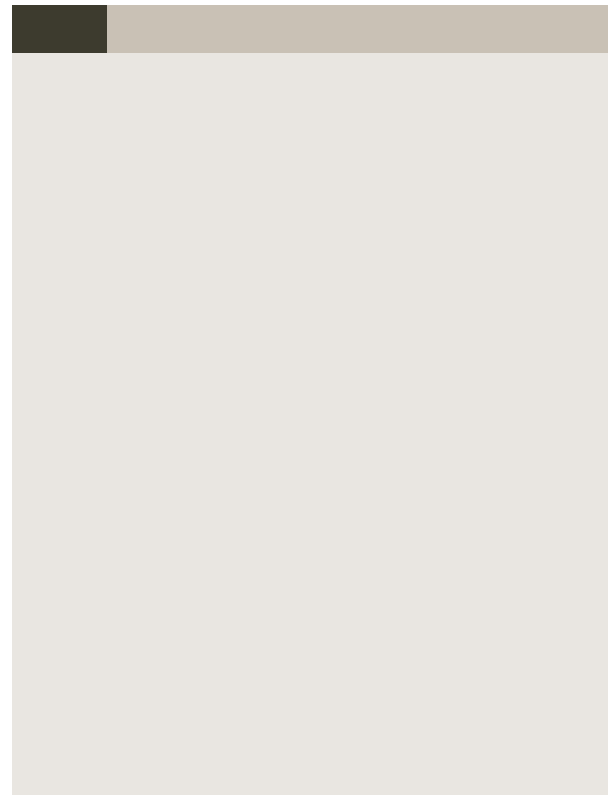


DRAFT

 View of Main Entry

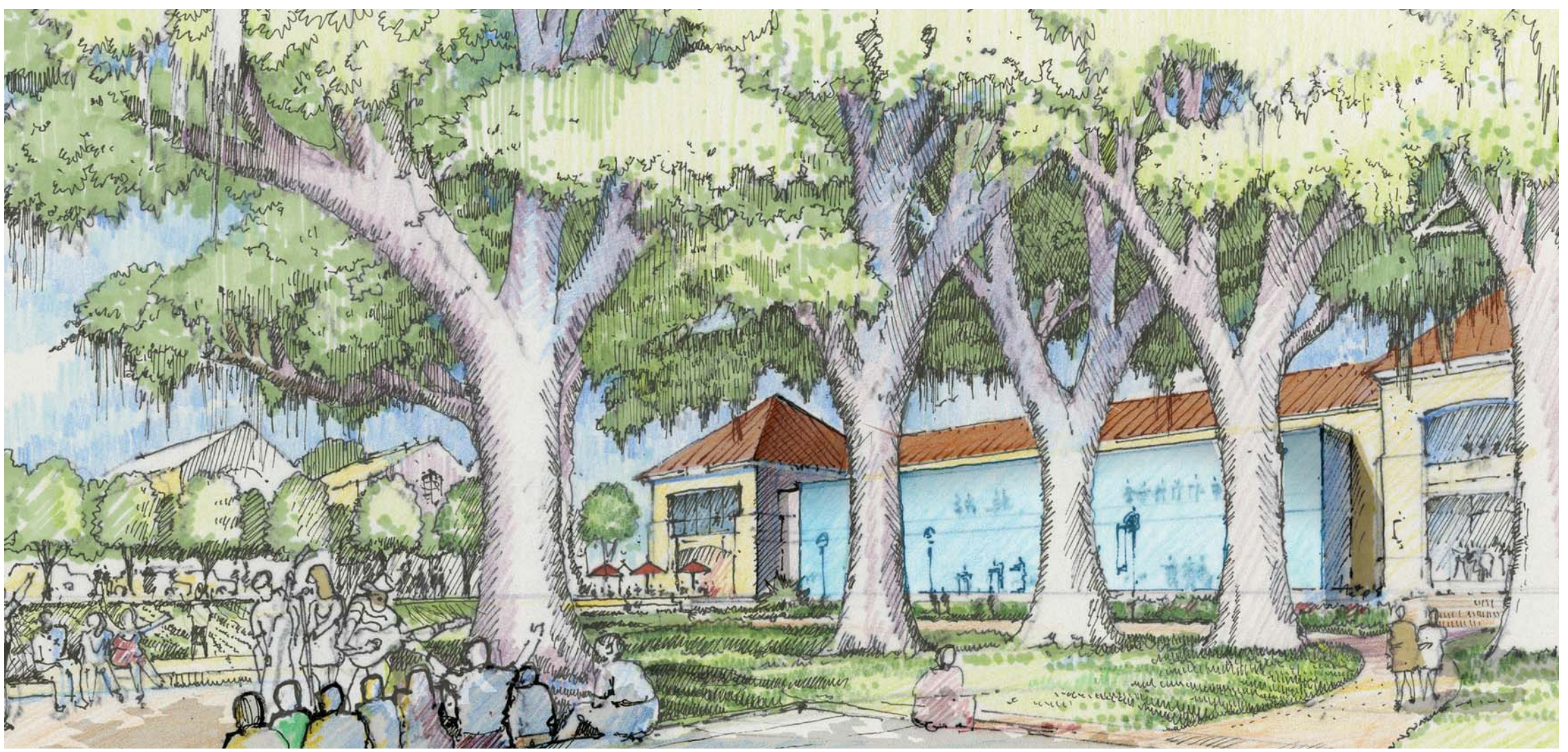
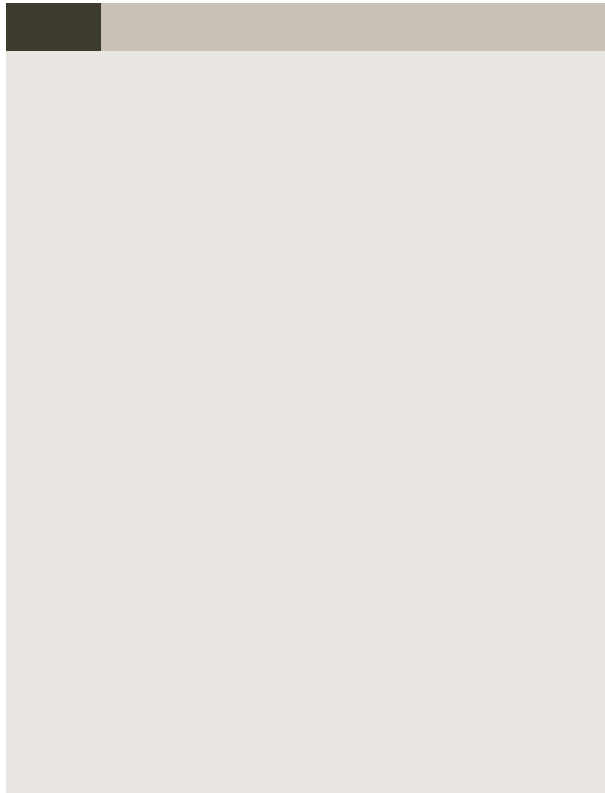


View of Office Park



B View of Office Park

View of Health Club
From Grove



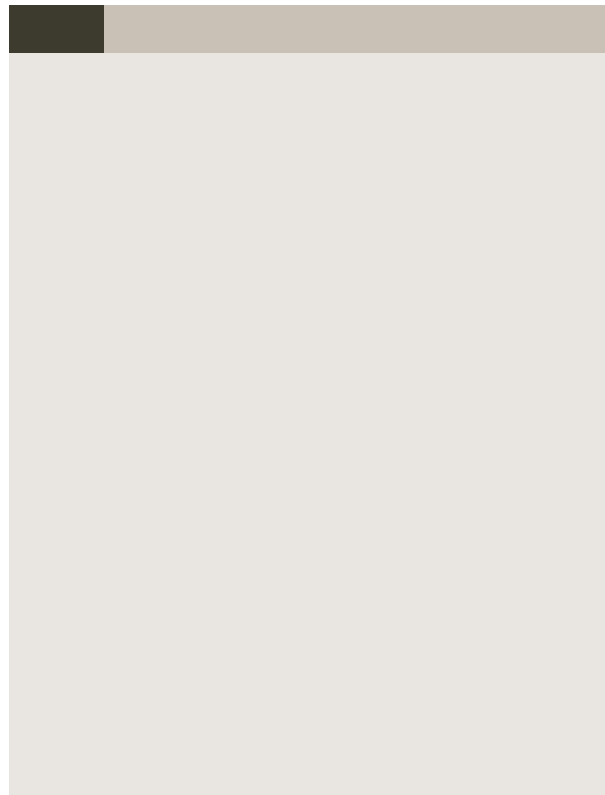
B View of Health Club from Grove

View of Grove
From Boulevard

section **B** Design Vision



The Grove . Master Plan and Design Codes



section **B** View of Alley at Lifestyle Center

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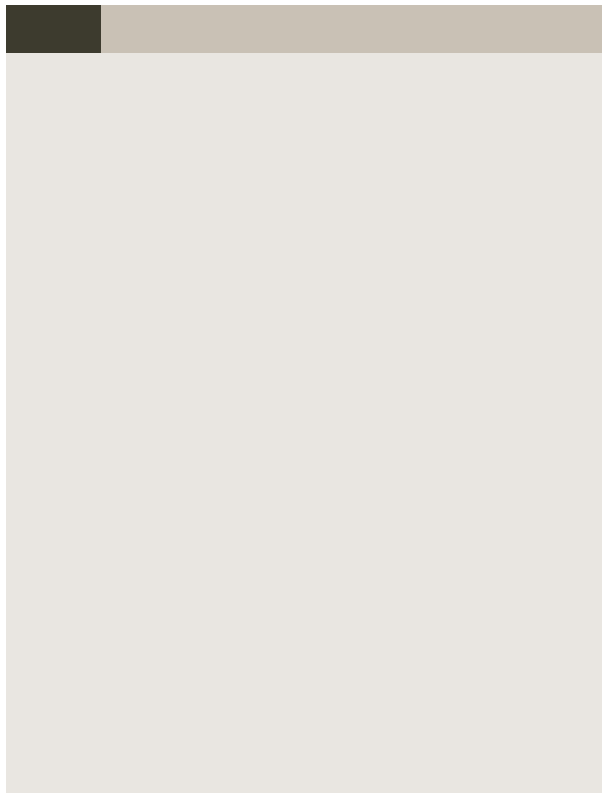


View of Ward Creek

Design Vision
section B



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View of Ward Creek

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Urban Regulating Standards





Urban Regulating Instructions

THE GROVE TND											
URBAN REGULATION INSTRUCTIONS											
Land Classifications	Neighborhood Context Zones										
	Neighborhood Center			Mixed Residential			Neighborhood Edge			Horizontal Placement	
	NCI	NCII	NCIII	MRI	MRII	MRIII	NEI	NEII	NEIII	BTL - Build To Line (mandatory)	
Building Types	Commercial/Hotel	0-5 0-5 BTL 10 MIN.	0-5 10 BTL 10 MIN.	10 BTL 10 BTL 10 MIN.						Front Left Right Rear	
	Livework	0-3 0 BTL 5 BTL 10 BTL		5 BTL 5 BTL 10 BTL						Front Left Right Rear	
	Mansion Condos	7.5 BTL 10 BTL		10 BTL						Front Left Right Rear	
	Multi Family for Rent				5 BTL 5 min 30'-35' 15'-20' 13.5 BTL	7.5 BTL 5 min 30'-35' 15'-20' 13.5 BTL				Front Left Right Rear @ Alley @ Back-out Parking Rear @ Alley @ All other Structures	
	Multi Family for Sale				5 min 30'-35' 15'-20' 13.5 BTL	5 min 30'-35' 15'-20' 13.5 BTL				Front Left Right Rear @ Alley @ Back-out Parking Rear @ Alley @ All other Structures	
	Rowhouses				5 min 30'-35' 15'-20' 13.5 BTL	5 min 30'-35' 15'-20' 13.5 BTL				Front Left Right Rear @ Alley @ Back-out Parking Rear @ Alley @ All other Structures	
	Townhouses				0 BTL 0 BTL 15'-20 BTL 15 BTL 5 BTL 5 min 15'-20' 13.5 BTL	0 BTL 0 BTL 15'-20 BTL 15 BTL 7.5 BTL 5 min 15'-20' 13.5 BTL				Front Left Right Rear @ Alley @ All other Structures Minimum Side (Left & Right) Home Width (Min. - Max.) Rear @ Alley @ Back-out Parking Rear @ Alley @ All other Structures	
	Cottage										Front Left Right Rear @ Alley @ All other Structures Minimum Side (Left & Right) Home Width (Min. - Max.) Rear @ Alley @ Back-out Parking Rear @ Alley @ All other Structures
	Building Use	ALL TYPES SHALL PERMIT RESIDENTIAL OR COMMERCIAL USE AT ALL STORIES EXCEPT AS SHOWN. AMENDMENTS, SEE LAND USE CLASSIFICATIONS ABOVE.									
	Reserve	SEE DEFINITION									
General Instructions	Civic Uses	CIVIC BUILDINGS DESIGNED SPECIFICALLY FOR CIVIC FUNCTIONS (SEE CIVIC BUILDINGS DEFINITION), SHALL NOT BE SUBJECT TO THE REQUIREMENTS DESCRIBED IN THE URBAN REGULATING INSTRUCTIONS. THE PARTICULARS OF CIVIC BUILDING DESIGN SHALL BE DETERMINED FROM THE SPECIFICITY. AS AN INDICATOR OF THE PUBLIC REALM, THESE EXCEPTIONS SERVE TO ALLOW ARCHITECTURE THAT ACCENTS AND CELEBRATES THE COMMUNITY LIFE IN ITS MORE PUBLIC AND CIVIC GOINGS-ON. IN ORDER TO SUPPORT THIS CIVIC WORK, IT IS OF UTMOST IMPORTANCE, THAT THE PRIVATE BUILT ENVIRONMENT, WHICH SERVES PRIMARILY TO DENY THE PUBLIC REALM, MAINTAIN STREET COMPLIANCE WITH THE RESTRICTIONS DESCRIBED IN THE URBAN REGULATING INSTRUCTIONS.									
	Corner Lots	BUILDINGS OCCURRING ON CORNER LOTS SHALL BE TREATED AS A PRINCIPAL ELEVATION ON BOTH FRONTAGES.									
	Outbuilding	OUTBUILDINGS SHALL PERMIT LIVING AND LIMITED OFFICE USE (A MAXIMUM SIZE OF 40 SF).									
	Parking	AUTOMOBILE STORAGE OF ADEQUATE SIZE AND ACCESS SHALL BE PROVIDED WITHIN THE LOT IN ACCORDANCE WITH THE CITY OF BATON ROUGE TND ORDINANCE, OR AS DENIED IN THE GROW ZONE CASE AND AMENDMENTS THEREAFTER. IT SHALL NOT EXCEED MORE THAN 3 COVERED SPACES.									
Horizontal Placement Instructions	Facade	THE PLACEMENT OF THE FACADE AT THE FRONT SETBACK LINE SHALL BE MANDATORY UNLESS OTHERWISE SHOWN. BUILDINGS SHOULD SHOW NO MORE THAN 3 CORNERS TO THE FRONTAGE UNLESS ALLOWED BY STYLE (I.E. VICTORIAN). BUILDINGS ON CORNER LOTS SHALL PRESENT PRIMARY FACADES TO BOTH STREETS.									
	Fences and Garden Walls	WHERE PROVIDED, FENCES AND GATES SHALL BE BUILT ON THE PRIMARY FRONTAGE LINE ONLY. GARDEN WALLS AND GATES SHALL NOT BE BUILT ON THE FRONTAGE LINE BUT MAY BE BUILT COPLANAR OR BEYOND TO THE FRONT WALL OF THE MAIN BUILDING. CORNER GARDEN WALLS SHALL BE BACK, PLYOCORNER OR WINDIGHT BLOCK BUILDINGS ON CORNER LOTS MAY BUILD A GARDEN WALL ON THE FRONTAGE LINE. GARDEN WALLS SHALL BE CONSTRUCTED AT A BTL OF 2'-0" BEHIND THE FRONTAGE LINE.									
Vertical Placement Instructions	Dooryard	NOT APPLICABLE									
	Corner Lots	BUILDINGS ON CORNER LOTS SHALL HOLD CLEAR A VIEW TRIANGLE AS APPROVED IN THE LAFAYETTE PARISH TND ORDINANCE. SEE STREET SECTIONS AND DETAILS.									
	Parking	GARAGES SHALL BE ENTRIES FROM THE REAR ALLEY OR LANE, IF PROVIDED. SEE PLACEMENT DIAGRAM FOR ALLEY LOADED PARKING ACCOMMODATIONS.									
	Porches, Balconies, and Stoops	PORCHES, BALCONIES AND STOOPS SHALL BE PROVIDED IN ANY ONE OF THE COMBINATIONS SHOWN ON ARCHITECTURAL GUIDELINES.									
	Main Floor	THE FIRST FLOOR LEVEL SHALL BE ELEVATED ABOVE THE GRADE. STORIES ABOVE THE FIRST FLOOR SHALL BE ELEVATED ABOVE THE LEADING EDGE OF GRADE AT THE PORCH. A MINIMUM OF 2'-0" EXCEPT THAT COMMERCIAL USES SHALL BE NEAR SIDEWALK GRADE.									
	Main Floor Height	THE FIRST FLOOR INTERIOR CLEAR HEIGHT SHALL BE NO LESS THAN 12'-0" NOR MORE THAN 12'. SECOND FLOOR WALL PLATE SHALL BE NO LESS THAN 10' NOR GREATER THAN 21' AT THE PRIMARY BUILDING FRONTAGE ONLY. ALL OTHER SPACES MAY BE A MINIMUM OF 9'-0".									
Max. Building Height	NC 0 MAX. 2 MIN. STORIES 3 STORIES OR 40' (WHICHEVER IS GREATER)										
Corner Lots	ALL LOTS OCCURRING AT BLOCK CORNERS SHALL BE A MINIMUM OF 3 STORIES UNLESS A VARIATION IS GRANTED.										
Roofs	BUILDINGS SHALL HAVE SLOPED ROOFS IN ACCORDANCE WITH THE ARCHITECTURAL TYPOLOGIES.										



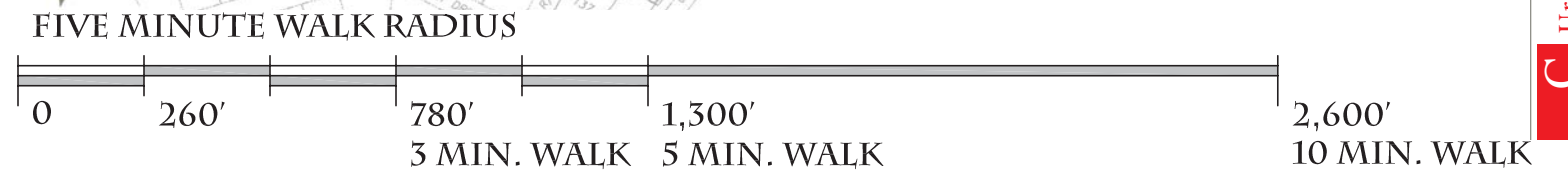
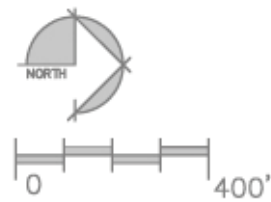
Urban Regulating
Urban Regulating Plan

The Design Code for The Grove is developed around a system of land classifications described in the City of Baton Rouge TND Ordinance, which incorporates a fine-grained network of lot distinctions. These characteristics follow the natural internal structure of an authentic neighborhood and serve to create the structure of the community of The Grove. This structure is expressed as three urban sectors: Neighborhood Center (NC), Mixed Residential (MR), and Neighborhood Edge (NE).

This Design Code creates an additional type of refined divisions within each of the individual described zones. For example, in the Mixed Residential is the Mixed Residential I (MRI), Mixed Residential II (MRII), and Mixed Residential III (MRIII). These further serve to support an additional device, which further alters the placement of buildings on a lot, producing varying planning textures and urban behavior. Reference is made to the Urban Regulating Instructions in this Design Code for further clarification.

LEGEND

-  NEIGHBORHOOD CENTER
-  MIXED RESIDENTIAL
-  GREEN SPACE
-  PRESERVE
-  WATER





Urban Regulating
Neighborhood Zones



NEIGHBORHOOD CENTER



MIXED RESIDENTIAL





RESIDENTIAL



OPEN SPACE



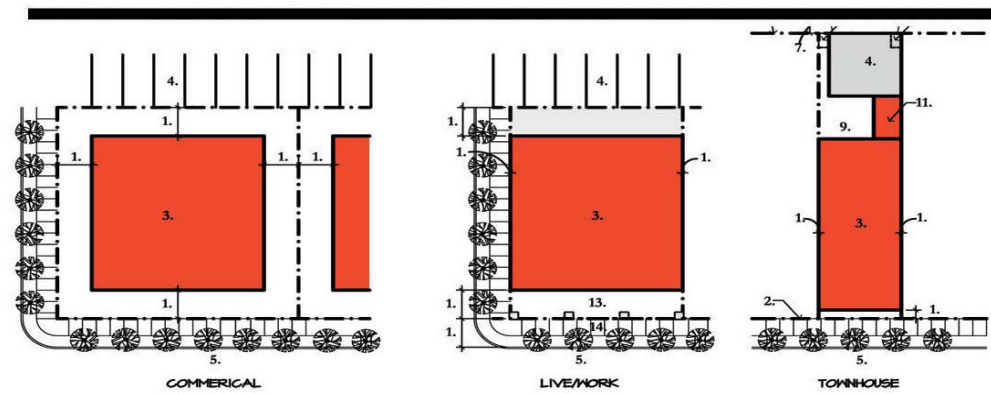
COMMERCIAL



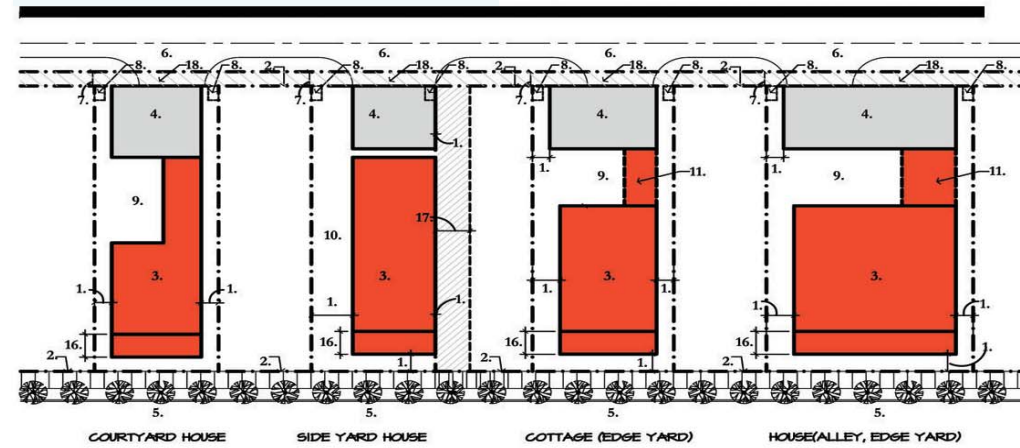
CIVIC



NEIGHBORHOOD CENTER



MIXED RESIDENTIAL



LEGEND

- 01. SEE URBAN REGULATION
- 02. RIGHT OF WAY
- 03. BUILDING ZONE
- 04. PARKING ZONE
- 05. STREET
- 06. ALLEY
- 07. 15' BTL PARKING SETBACK
- 08. UTILITY ALCOVE
- 09. COURTYARD
- 10. SIDEYARD
- 11. OPTIONAL BACK BUILDING
- 12. WIDTH 12' MAX. FROM FRONTAGE TO FACADE LINE
- 13. FRONT GALLERY
- 14. SIDEWALK
- 15. 10' MINIMUM PORCH DEPTH
- 16. 8' MINIMUM PORCH DEPTH
- 17. MANDATORY 10' NO BUILD SETBACK ON LOT ADJACENT TO "0" LOT LINE SIDE OF A SIDEYARD LOT.

These concepts are intended to convey the strategies of land development for the Grove. Changes can and will be promulgated to accommodate the Town Founder's desires. These changes can be made at anytime by the Town Founder without approval and without cause.

URBAN TRANSECT

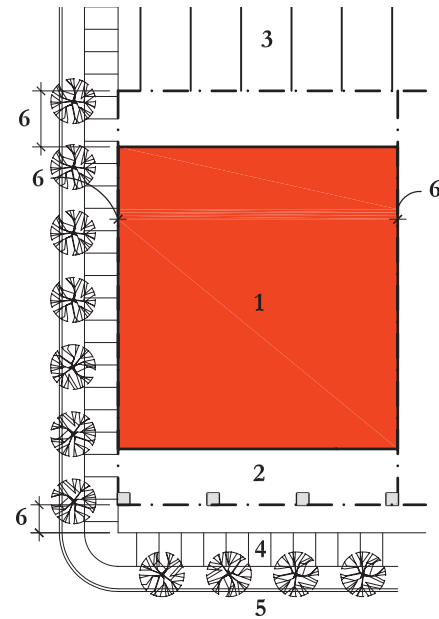
Neighborhood Center
Building Placement Guidelines



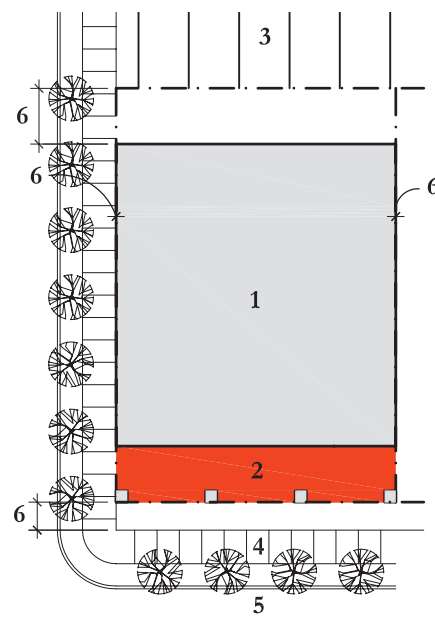
NOTES

The **Neighborhood Center (NC)** is the focus of the neighborhood's civic buildings and social activity. It incorporates retail, workplaces, and more dense residential units in accordance with the specific use plan, and it connects directly to other parts of the neighborhood through a network of carefully articulated vehicular and pedestrian thoroughfares. As such, it is the densest graining of land subdivision in the neighborhood. The streets are generally designed with formalized on-street parking characterized by avenues and main streets. Buildings placed either at or near the right-of-way line, further reinforce the streets edge and public character.

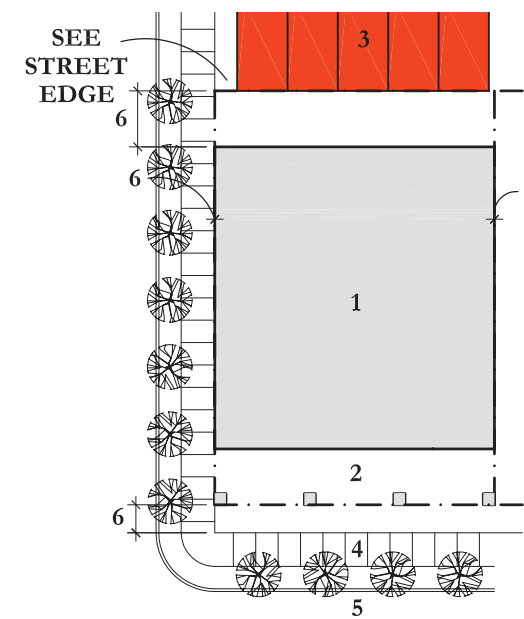
BUILDING PLACEMENT



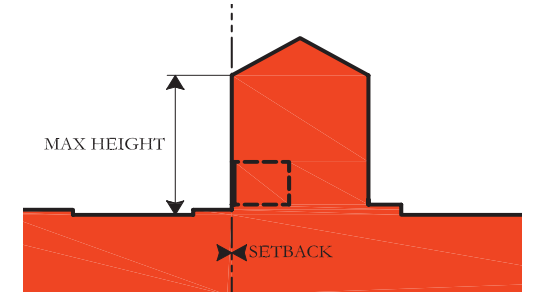
BUILDING FRONTAGE



PARKING PLACEMENT



BUILDING HEIGHT & PROFILE



MAXIMUM HEIGHT

Building height shall be measured in number of stories. See Urban Regulation for heights of Porches, Balconies, Stoops, Main Floor Height, and Maximum Building Height.

Minimum Stories: See Urban Regulation

Maximum Stories: See Urban Regulation

The building types shown in these building placement guidelines may be substituted with any of the building types shown in the Neighborhood Center section of the building type guidelines.

SETBACKS

Buildings shall be placed with the shaded area as shown in the above diagram and urban regulation. See urban regulation for setback notes on Facade, Fences and Garden Walls, Corner Lot, and Parking

ENCROACHMENTS

Porches, Balconies, and Stoops shall be provided in any one of the combinations shown on Architectural Typologies

PARKING REQUIREMENTS

On-site parking is allowed only in the shaded area as shown above. Vehicular access will be provided in urban regulation.

BUILDING PLACEMENT AND BUILDING FRONTAGE LEGEND

- 1 Building Zone
- 2 Optional Front Gallery or Awning Covering
- 3 Rear Parking Zone
- 4 Sidewalk
- 5 Street
- 6 See Urban Regulations

USES and ARCHITECTURAL TYPES

In accordance with the adjusted zoning classifications for the Grove.

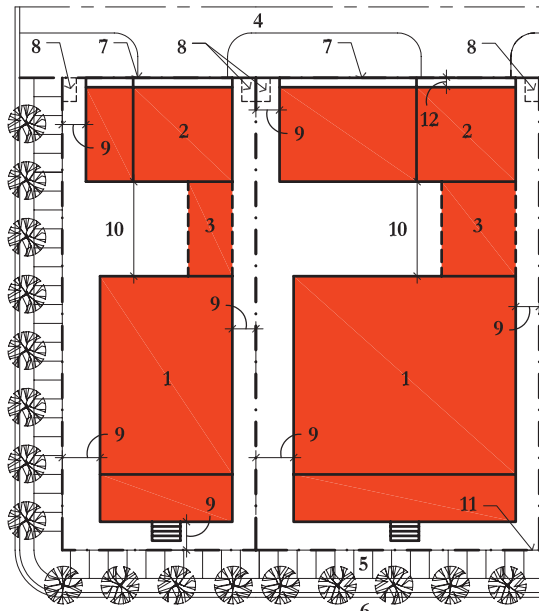
Mixed Residential
Building Placement Guidelines



NOTES

The **Mixed Residential (MR)** is that element of the transect which focuses principally on residential use with a minimum of other potential uses to include ancillary units, apartments, and for home occupation. It constitutes the majority of the land use types in accordance with the specific use plan at The Grove. Streets and boulevards generally characterize the thoroughfare makeup within the Mixed Residential.

BUILDING PLACEMENT



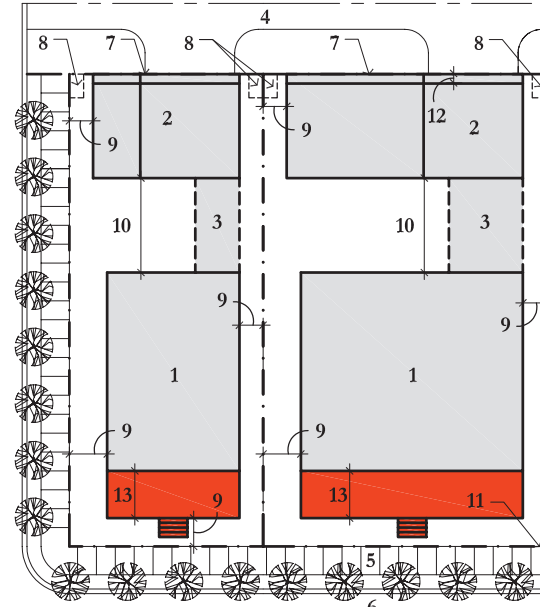
The building types shown in these building placement guidelines may be substituted with any of the building types shown in the Mixed Residential (alley loaded) sections of the building type guidelines.

SETBACKS

Buildings shall be placed with the shaded area as shown in the above diagram and urban regulation. See urban regulation for setback notes on Facade, Fences and Garden Walls, Corner Lot, and Parking

USES and ARCHITECTURAL TYPES

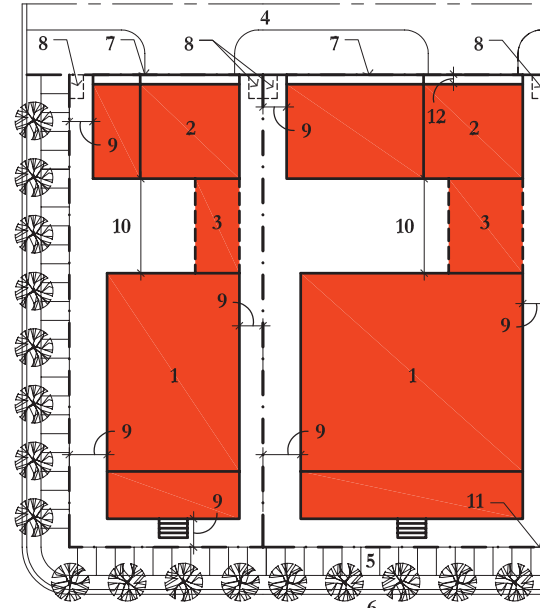
BUILDING FRONTAGE



ENCROACHMENTS

Porches, Balconies, and Stoops shall be provided in any one of the combinations shown on Architectural Typologies

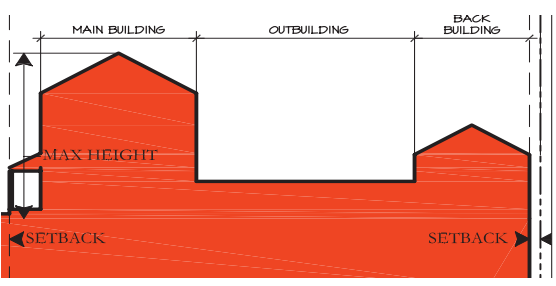
PARKING PLACEMENT



PARKING REQUIREMENTS

On-site parking is allowed only in the shaded area as shown above. Vehicular access will be provided in urban regulation.

BUILDING HEIGHT & PROFILE



MAXIMUM HEIGHT

Building height shall be measured in number of stories. See Urban Regulation for heights of Porches, Balconies, Stoops, Main Floor Height, and Maximum Building Height.

Minimum Stories: See Urban Regulation
Maximum Stories: See Urban Regulation

BUILDING PLACEMENT AND BUILDING FRONTAGE LEGEND

- 1 Building Zone
- 2 Parking Zone/Out Bldg.
- 3 Optional Back Building
- 4 Alley
- 5 Sidewalk
- 6 Street
- 7 Property Line
- 8 Utilities Alcove
- 9 See Urban Regulations
- 10 20' Min. Courtyard
- 11 Right of Way & Location of Fence
- 12 See Urban Regulations
- 13 8' Min. Porch Depth
- 14 See street sections for fence locations along alley

In accordance with the adjusted zoning classifications for the Grove.





Thoroughfare Standards



Vehicular Network and Street Types

section D
Thoroughfare Standards



The Grove . Master Plan and Design Codes

LEGEND	
	ALLEY
	BR-40
	CB-100
	CS-63
	NS-40
	PD-37
	ST-48
	ST-55



section D
Vehicular Network and Street Types



On Street Parking

Thoroughfare Standards

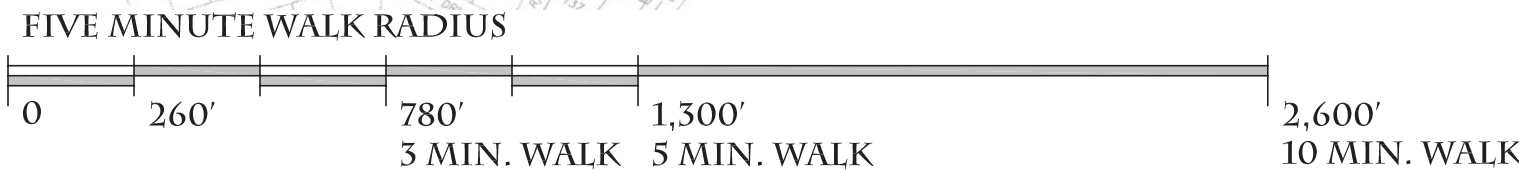
section D

The Grove . Master Plan and Design Codes



LEGEND

 PARKING



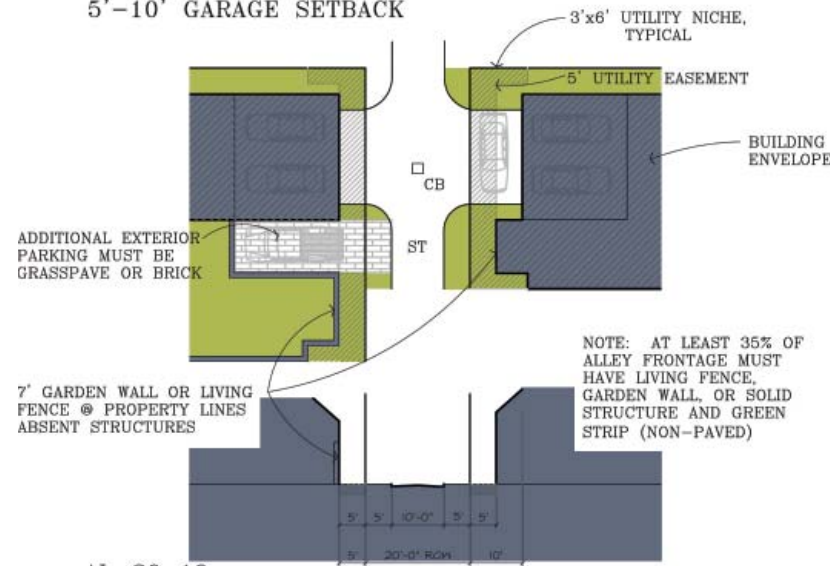
D On Street Parking





Alley-Option A (AL-20-10)

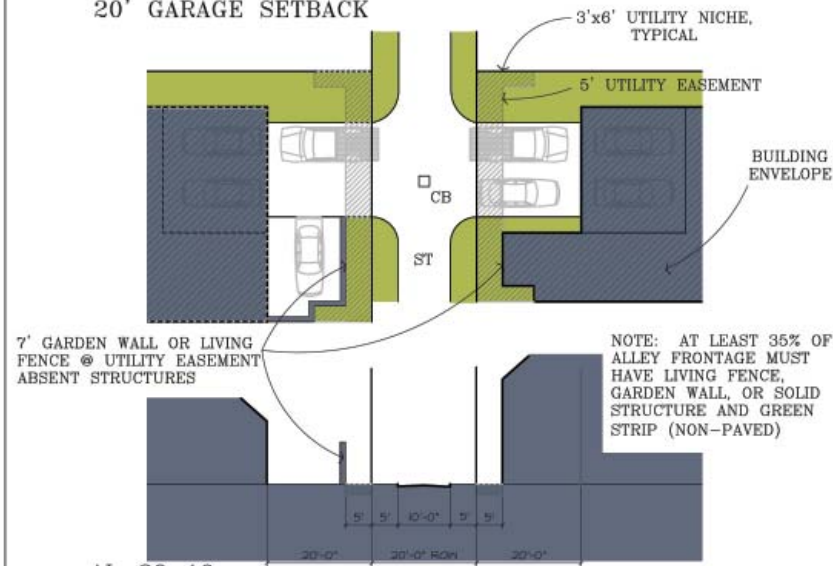
5'-10' GARAGE SETBACK



AL-20-10			
DESIGN SPEED:	5 MPH	PEDESTRIAN CROSSING TIME:	4.5 SEC.
PAVEMENT WIDTH:	10'-0"	DRAINAGE:	OPEN
ROW WIDTH:	20'-0"	AVERAGE DAILY TRAFFIC:	N/A
MAX. CURB RADIUS:	15'-0"	CURB TYPE:	NONE

Alley-Option B (AL-20-10)

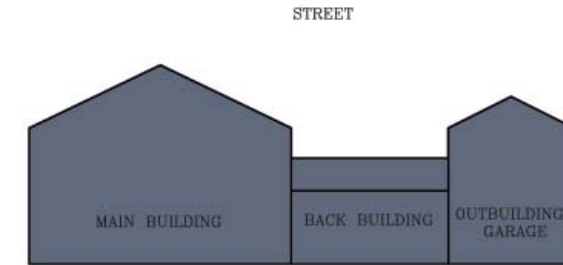
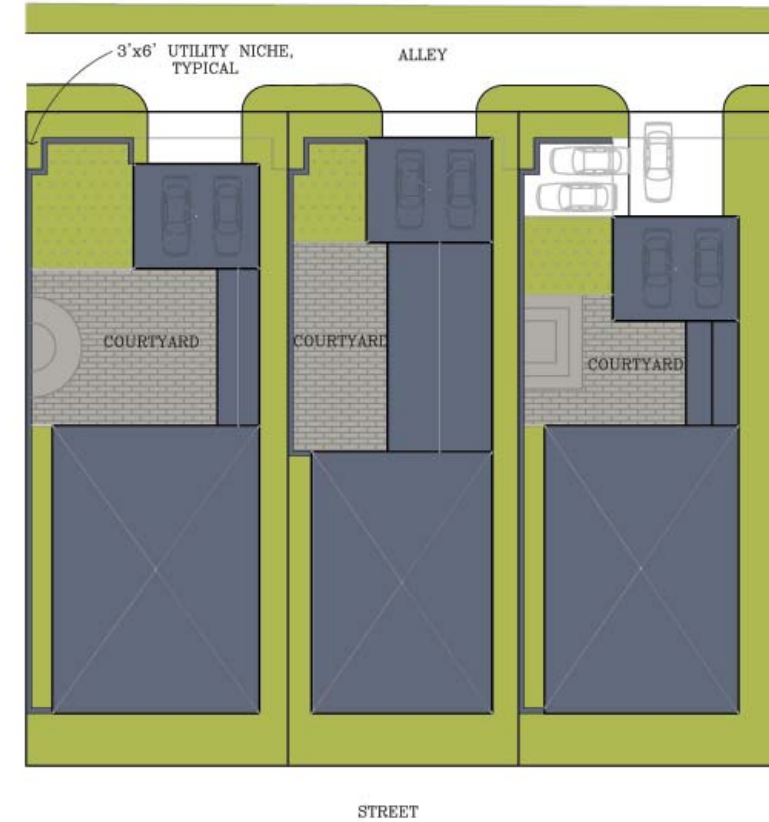
20' GARAGE SETBACK



AL-20-10			
DESIGN SPEED:	5 MPH	PEDESTRIAN CROSSING TIME:	4.5 SEC.
PAVEMENT WIDTH:	10'-0"	DRAINAGE:	OPEN
ROW WIDTH:	20'-0"	AVERAGE DAILY TRAFFIC:	N/A
MAX. CURB RADIUS:	15'-0"	CURB TYPE:	NONE

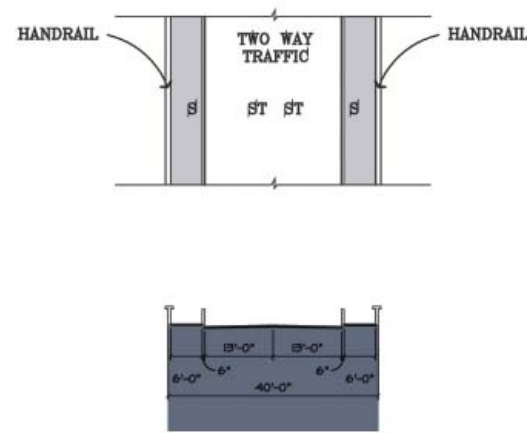
Back Building Layout

NOTE: BACK BUILDING CAN BE A COVERED WALKWAY, A CLOSED-IN HALLWAY, OR ADDITIONAL LIVING SPACE THAT OVERLOOKS THE COURTYARD (I.E. LAUNDRY ROOM OR LIVING ROOM). THE INTENTION IS TO CREATE AN ENCLOSED COURTYARD OR YARD.



Bridge (B-40)

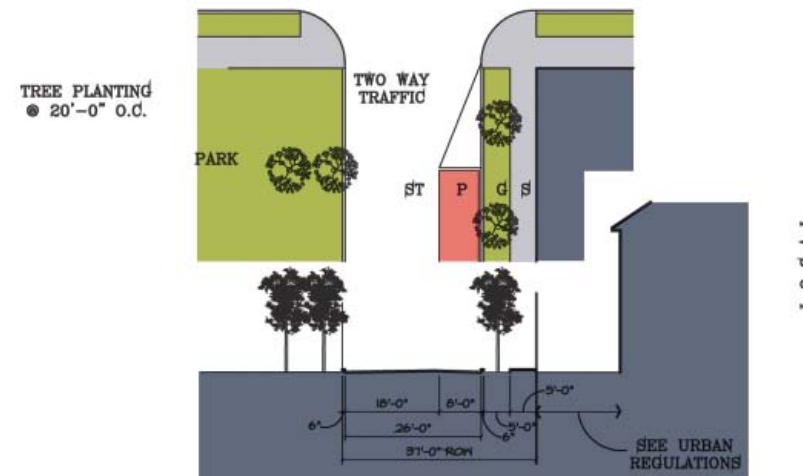
(13/13)



DESIGN SPEED:	20 MPH	PEDESTRIAN CROSSING TIME:	5 SEC.
PAVEMENT WIDTH:	26'-0"	DRAINAGE:	SURFACE
ROW WIDTH:	40'-0"	AVERAGE DAILY TRAFFIC:	GUTTER
MAX. CURB RADIUS:	10'-0"	CURB TYPE:	BARRIER
PARKING:	NONE		

Park Drive (PD-37-26)

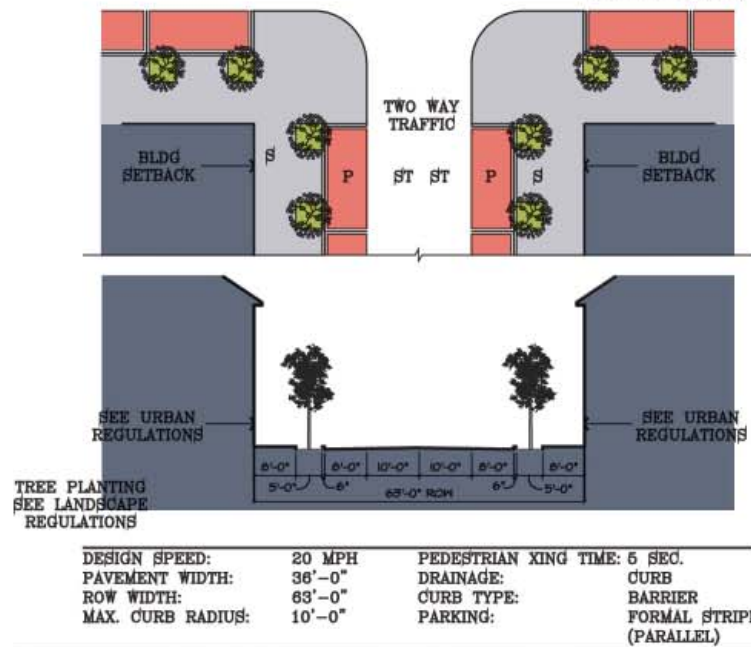
Two Way



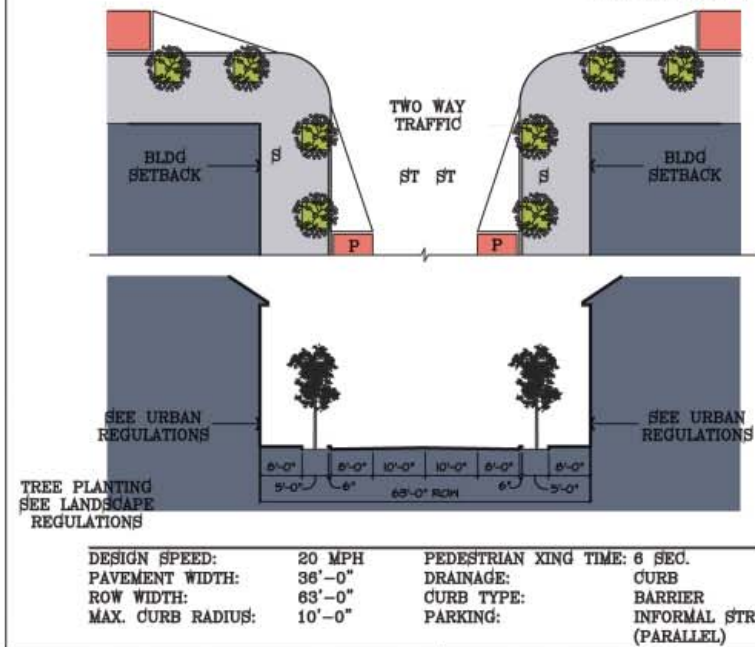
PD-37			
DESIGN SPEED:	20 MPH	PEDESTRIAN CROSSING TIME:	5 SEC.
MIN. CENTERLINE RADIUS:	20'-0"	DRAINAGE:	CURB
PAVEMENT WIDTH:	26'-0"	AVERAGE DAILY TRAFFIC:	<1000
ROW WIDTH:	37'-0"	CURB TYPE:	BARRIER
MAX. CURB RADIUS:	10'-0"	PARKING:	FORMAL (PARALLEL)



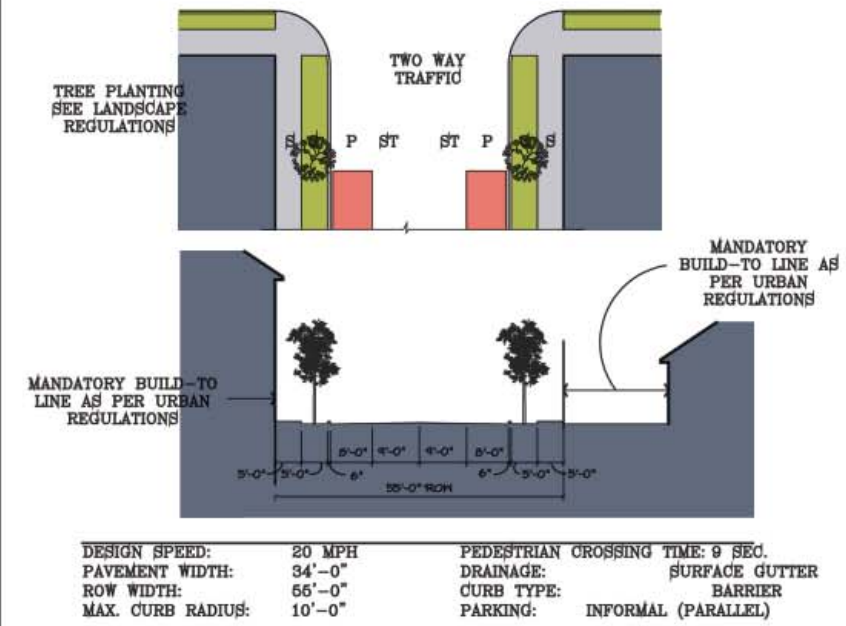
Commercial Street (CS-63)
(8/10/10/8)



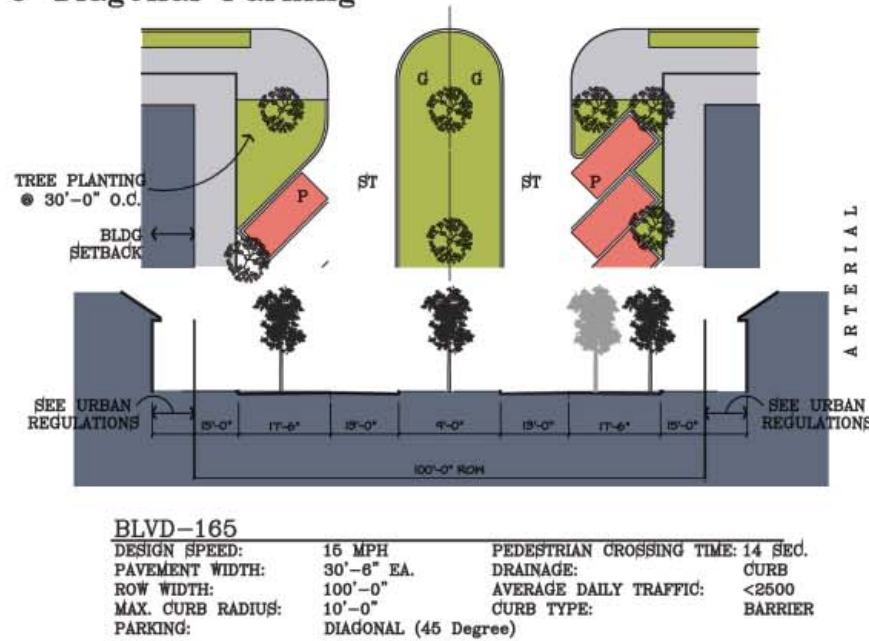
Commercial Street (CS-63)
(8/10/10/8)



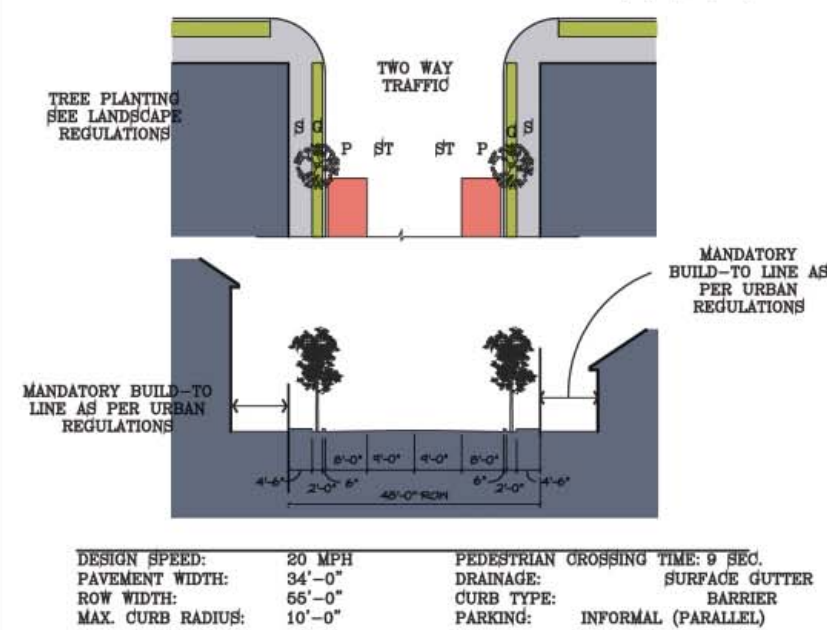
Street (ST-55)
(8/9/9/8)



Commercial Boulevard (CB-100-49)
© Diagonal Parking



Street (ST-48)
(8/9/9/8)





Five Minute Walk

Thoroughfare Standards

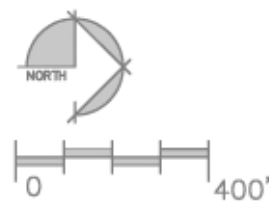
section D

The Grove . Master Plan and Design Codes

LEGEND



FIVE MINUTE WALK



FIVE MINUTE WALK RADIUS



Five Minute Walk

D

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SOUTHWEST

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Baton Rouge , Louisiana



The Grove

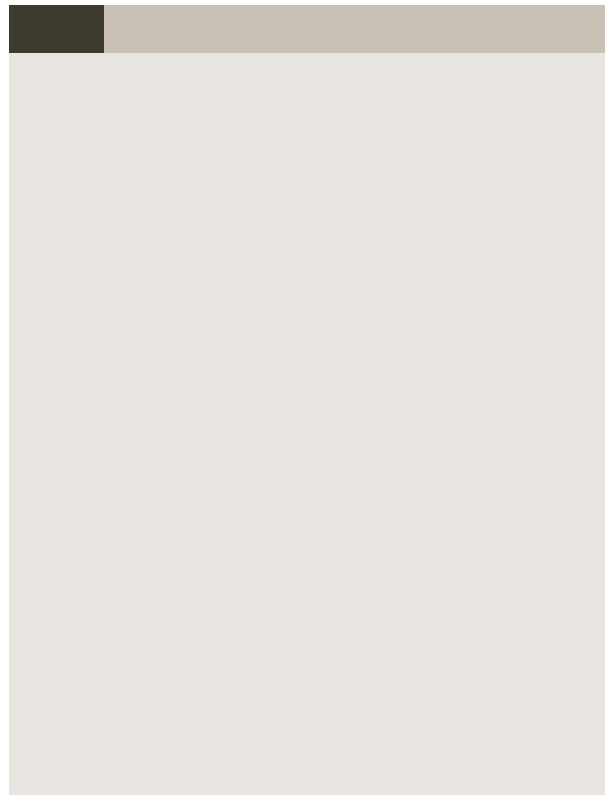
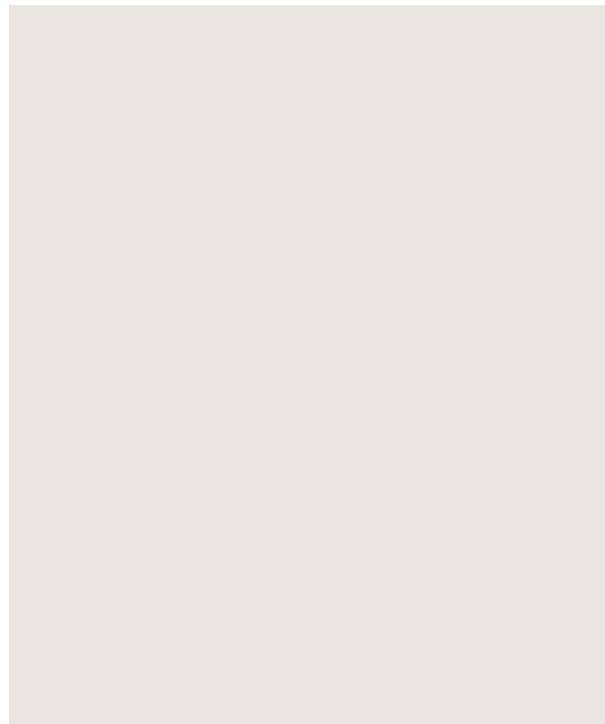
A Traditional Neighborhood Development

Architectural Standards

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Building Walls.

TYPES PROHIBITED. VINYL AND METAL SIDING AND PREFABRICATED OR MODULAR CONSTRUCTION, AND PANELIZED BUILDING MATERIAL.

TYPE I: WOOD

EXTERIOR WOOD, INCLUDING BUT NOT LIMITED TO SIDING, TRIM, COLUMNS, BALUSTRADES, PORCH DECKS, DECKS, FASCIAS, AND SHUTTERS MUST BE CAPABLE OF WITHSTANDING THE ELEMENTS AND BE RESISTANT TO ROT SUCH AS CEDAR, REDWOOD, MAHOGANY OR CEMENT BOARD, THEN SEALED WITH PAINT OR STAIN.

HORIZONTALLY APPLIED BOARDS (BEVELED OR DROP SIDING) AND WOODEN SHINGLES ARE PERMITTED. PLYWOOD AND DIAGONAL SIDING ARE NOT PERMITTED.

TYPE II: STUCCO

STUCCO OR EXTERIOR INSULATION FINISH SYSTEMS ARE ALLOWED OVER WOOD, METAL FRAME OR MASONRY CONSTRUCTION. STUCCO MUST HAVE A SMOOTH, TROWEL APPLIED AND SAND FINISH OR LIGHTLY TEXTURED FINISH. SWIRL OR OTHER HEAVILY TEXTURED PATTERNS ARE DISCOURAGED.

TYPE III: MASONRY

BRICK SHALL BE FROM THE PREAPPROVED PALETTE OF WIRE CUT OR, NATURAL STONE, MOLDED STONE; CAST STONE MAY BE USED AS PREAPPROVED.

BUILDING WALLS MAY BE BUILT OF NO MORE THAN TWO MATERIALS AND SHALL ONLY CHANGE MATERIAL ALONG A HORIZONTAL LINE, I.E. BRICK CHANGES WHICH OCCUR IN A VERTICAL LINE MUST OCCUR ONLY AT AN OFFSET OF NO LESS THAN 12", MAY BE COMBINED WITH WOOD SIDING WHEN THE MATERIAL CHANGE OCCURS HORIZONTALLY (TYPICALLY AT A FLOOR LINE), WITH THE HEAVIER MATERIAL BELOW THE LIGHT. WALLS OF A SINGLE BUILDING MUST BE BUILT IN A CONSISTENT CONFIGURATION. WOOD CLAPBOARD SHALL BE HORIZONTAL.

GARDEN WALLS SHALL GENERALLY BE CONSTRUCTED OF THE SAME MATERIAL AS THE FIRST FLOOR OF THE PRIMARY BUILDING. MASONRY PIERS WITH WOOD PICKETS MAY REPLACE SOLID MASONRY WALLS. WOOD MAY REPLACE MASONRY AT THE REAR PROPERTY LINE. MASONRY WALLS SHALL BE MADE OF STUCCOED, OR BRICK WHILE GATES SHALL BE WOOD OR STEEL. WALLS MAY BE PERFORATED.

SIDING SHALL BE HORIZONTAL, MAXIMUM 4" TO 6" TO THE WEATHER.

STUCCO OR PLASTER COATING MAY BE APPLIED TO CONCRETE BLOCK, POURED CONCRETE, OR BRICK. STUCCO SHALL BE STEEL TROWELED OR A SACK WASH OVER BRICK IS ALLOWED.

TRIM SHALL NOT EXCEED 6" IN WIDTH AT CORNERS AND 4" IN WIDTH AROUND OPENINGS, EXCEPT AT THE FRONT DOOR.

OPENINGS ARE USUALLY TRIPLE ARCHED WITH AT LEAST ONE FOCAL WINDOW.

STONE CORNICE WALLS TERMINATING AT FLAT ROOF CONDITIONS SHALL BE TREATED WITH AN ENTABLATURE (SEE DIAGRAM) IN KEEPING WITH ONE OF THE CLASSICAL ORDERS DEFINED BY *THE AMERICAN VIGNOLA*.

Building Elements.

CHIMNEYS SHALL BE FINISHED WITH STONE, STUCCO OR BRICK.

PIERS AND ARCHES SHALL BE STUCCO OR BRICK.

PORCH RAILINGS SHALL BE MADE OF WOOD WHILE PORCH FLOORS AND POSTS MAY BE WOOD OR MASONRY. PORCHES ON FRONTAGES MAY NOT BE ENCLOSED WITH GLASS OR SCREENS; PORCH CEILINGS MAY BE ENCLOSED WITH PAINTED WOOD, PLASTER, OR METAL. EXPOSED JOISTS SHALL BE PAINTED OR STAINED.

OTHER **RAILINGS** SHALL BE MADE OF WOOD, CAST METAL OR STONE.

METAL ELEMENTS SHALL BE COPPER, NATURAL-COLORED GALVANIZED STEEL, ANODIZED OR ESP ALUMINUM, OR MARINE-GRADE ALUMINUM

PICKETS, POLES, AND BOARDS SHALL BE MADE OF WOOD OR PRESSURE-TREATED WOOD AND PAINTED OR STAINED. FENCES SHALL BE MADE OF WOOD OR PRESSURE-TREATED. WOOD AND MAY HAVE STUCCO PIERS OR BRICK PIERS

DRIVEWAYS CAN BE OF CONCRETE, ASPHALT, PRE-APPROVED PALETTE OF BRICK OR CONCRETE PAVERS.

ARCADES AND BREEZEWAYS SHOULD HAVE VERTICALLY PROPORTIONED OPENINGS.

POSTS SHALL BE NO LESS THAN 6" BY 6".

RAILINGS SHALL HAVE TOP AND BOTTOM RAILS. WOOD TOP RAILS SHALL BE EASED AND BOTTOM RAILS SHALL HAVE A VERTICAL SECTION. TOP AND BOTTOM RAILS SHALL BE CENTERED ON THE BOARDS OR PICKETS. THE OPENINGS BETWEEN THE MEMBERS SHALL BE A MINIMUM OF 1" AND A MAXIMUM OF 4".

BALCONIES SHALL BE STRUCTURALLY SUPPORTED BY BRACKETS, TAPERED BEAMS, OR COLUMNS.

DRIVEWAYS CONSTRUCTED OF MATERIAL OTHER THAN CONCRETE SHALL ALLOW THE PUBLIC CONCRETE SIDEWALK TO RUN CONTINUOUSLY WITHOUT DISRUPTION THROUGH THIS AREA OF THE DRIVEWAY.

FENCES ON ADJACENT LOTS SHALL HAVE DIFFERENT DESIGNS, SUBJECT TO THE APPROVAL OF THE GROVE ARCHITECT. WHERE A FENCE ON ONE PROPERTY MEETS TALLER OR SHORTER FENCE ON ANOTHER PROPERTY, IT IS THE RESPONSIBILITY OF THE LATTER DESIGNER TO TRANSITION THEIR FENCE TO THE HEIGHT OF THE FORMER.

Roofs/Awnings/Canopies.

SLOPED ROOFS SHALL BE CLAD IN ONE OF THE FOLLOWING MATERIALS: SYNTHETIC, CONCRETE, OR NATURAL CLAY SPANISH TILE IN RED OR NATURAL BUFF COLOR; SYNTHETIC OR NATURAL SLATE; WOOD OR ASPHALT SHINGLES; GALVANIZED STEEL; OR COPPER.

GUTTERS AND DOWNSPOUTS, WHEN USED, SHALL BE MADE OF GALVANIZED STEEL, COPPER (NOT COPPER-COATED), ANODIZED OR ALUMINUM. DOWNSPOUTS SHALL BE PLACED AT THE CORNER OF THE BUILDING LEAST VISIBLE FROM NEARBY STREETS. SPLASH BLOCKS SHALL BE MADE OF CONCRETE, BRICK OR GRAVEL.

COPPER ROOFS, FLASHING, GUTTERS, AND DOWNSPOUTS SHALL BE ALLOWED TO AGE NATURALLY (NOT PAINTED OR SEALED).

AWNINGS SHALL BE MADE OF CANVAS, OR APPROVED METAL. ADDITIONALLY CANOPIES MAY BE MADE OF WOOD, METAL OR GLASS.

FLAT ROOFS SHALL BE MADE OF MATERIAL WHICH WILL BE A GRAY OR BLACK TONE IN COLOR

PRINCIPAL ROOF ON ALL FREESTANDING BUILDINGS SHALL BE A SYMMETRICAL HIP OR GABLE WITH A SLOPE OF 4:12 TO 8:12. ALSO ALLOWED ARE GABLED HIPS, HIPPED GABLES, AND FLARED HIPS. WHERE GARAGES MEET IN A PARTY WALL CONDITION, GABLED ENDS ARE ALLOWED.

FLAT ROOFS SHALL ALIGN WITH THE CORNICE LINES / PARAPETS.

ANCILLARY ROOFS (ATTACHED TO WALLS OR ROOFS) MAY BE SHEDS SLOPED NO LESS THAN 3:12.

EAVES SHALL BE CONTINUOUS, UNLESS OVERHANGING A BALCONY OR PORCH. EAVES SHALL HAVE AN OVERHANG FROM 16" TO 32". OVERHANGING EAVES MAY HAVE EXPOSED RAFTERS.

EXPOSED GUTTERS AND DOWNSPOUTS SHALL BE ROUND OR OGEE.

NO THROUGH **ROOF PENETRATION** FOR MECHANICAL OR ELECTRICAL DEVICES SHALL BE ALLOWED TO PENETRATE THE ROOF AT THE BUILDING'S FRONTAGES). PENETRATIONS OF THESE DEVICES AT APPROVED LOCATIONS WILL BE OF COLOR TO MATCH THE ROOF.

AWNINGS SHALL BE ATTACHED DIRECTLY TO BUILDING WALLS WITH OR WITHOUT USE OF COLUMNS. CANOPIES REQUIRING COLUMNS OR SUPPORTS ON SIDEWALKS ARE TO BE APPROVED BY THE PARISH.

Windows and Doors.

WINDOWS, DOORS, AND STOREFRONTS SHALL BE WOOD, ANODIZED ALUMINUM, OR CLAD-WOOD. DOORS SHALL BE PAINTED, STAINED OR ANODIZED ALUMINUM. GLASS SHALL BE NO GREATER THAN 12% REFLECTIVITY.

SHUTTERS SHALL BE WOOD.

SECURITY DOORS AND WINDOW GRILLES ARE NOT ALLOWED.

SHUTTERS SHALL BE SIZED AND SHAPED TO MATCH THE ASSOCIATED OPENINGS

BAY WINDOWS SHALL HAVE A MINIMUM OF 3 SIDES AND SHALL EXTEND TO THE FLOOR INSIDE AND TO THE GROUND OUTSIDE, OR BE VISUALLY SUPPORTED BY STRUCTURAL BRACKETS.

WINDOWS SHALL BE RECTANGULAR, VERTICALLY PROPORTIONED AND OPERABLE. TRANSOMS MAY BE ORIENTED HORIZONTALLY WITH PANES WHICH MATCH OTHER CONFIGURATIONS. MULTIPLE WINDOWS IN THE SAME ROUGH OPENING SHALL BE SEPARATED BY A 4" MINIMUM POST. THE WINDOW SASH SHALL BE LOCATED INTERIOR TO THE CENTERLINE OF THE WALL. WINDOW SILLS IN MASONRY CONSTRUCTION SHALL PROJECT A MINIMUM OF 1 INCH FROM THE FACE OF THE BUILDING.

ALL VERTICALLY SUPERIMPOSED **OPENINGS** SHALL BE ALIGNED AND CENTERED ALONG THE VERTICAL AXIS.

WINDOW MUNTINS ARE ENCOURAGED AND SHALL BE TRUE DIVIDED LIGHT OR FIXED ON THE INTERIOR AND EXTERIOR SURFACES, AND SHALL CREATE PANELS OF SQUARE OR VERTICAL PROPORTION.

NON ALLEY **GARAGE DOORS** ON FRONT LOAD LOTS SHALL BE A MAXIMUM OF 10' IN WIDTH. GARAGE DOORS SHALL BE PAINTED OR STAINED. OVERHEAD GARAGE DOORS WILL BE ALLOWED BUT AT FRONT LOAD LOTS SHALL BE CLAD WITH PLANKS TO RESEMBLE SWINGING DOORS.

SHUTTERS WHEN USED SHALL BE OPERABLE, SIZED AND SHAPED TO MATCH THE OPENINGS. SHUTTERS IN ACCORDANCE WITH SPECIFIC ARCHITECTURAL TYPOLOGIES IS ENCOURAGED.

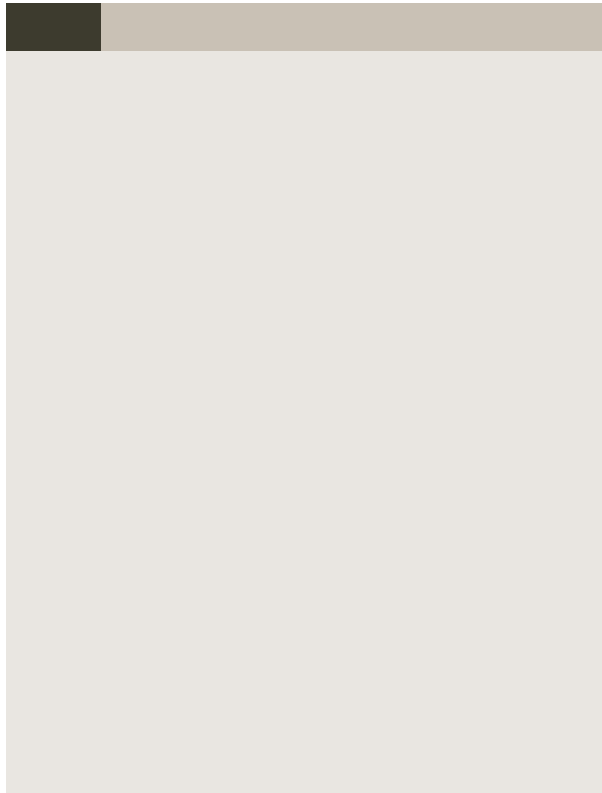
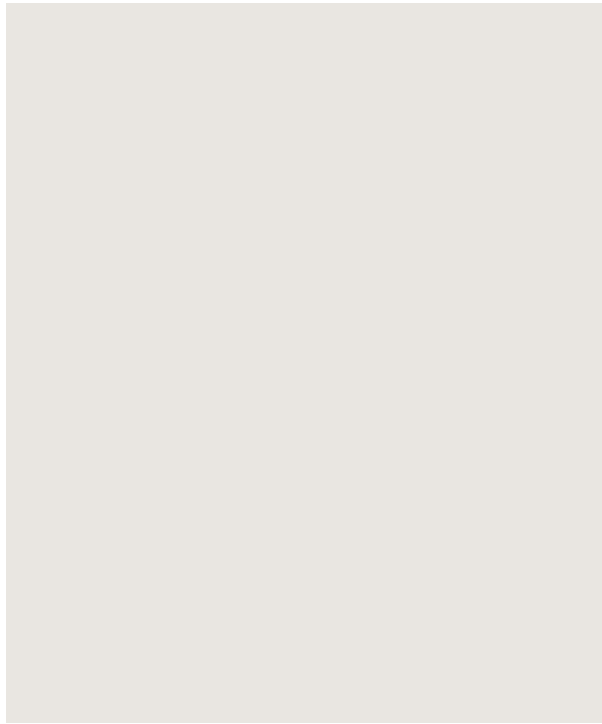
THERE MAY BE NO MORE THAN ONE **CIRCULAR OR HEXAGONAL WINDOW** ON ANY PRINCIPAL ELEVATION.

RECTANGULAR WINDOWS SHALL BE OPERABLE ENCASEMENT OR SINGLE HUNG. CIRCULAR AND HEXAGONAL WINDOWS MAY BE FIXED.





Building Amenities



NOTES AMENITIES

Building Walls.

BUILDING WALLS SHALL BE ONE COLOR PER MATERIAL USED. COLORS OF STUCCO SHALL BE WARM IN TONE, SUBJECT TO APPROVAL FROM THE GROVE DRB. PAINTS FOR MASONRY APPLICATIONS SHALL HAVE A FLAT FINISH. ALL EXTERIOR WOOD SIDING SHALL BE PAINTED OR STAINED. TRIM (BALCONY AND PORCH POSTS, RAILS, WINDOW TRIM, RAFTER TAILS, ETC) SHALL BE PAINTED TO COMPLEMENT THE COLUMNS AND OVERALL VALUE OF THE BUILDING. AN ACCENT COLOR, FOR ITEMS SUCH AS THE FRONT DOOR, PICKETS, TRIM, AND SHUTTERS, MAY BE USED SUBJECT TO APPROVAL FROM THE GROVE DRB. WALLS AND FENCES SHALL BE IN A RANGE OF COLORS APPROVED FOR THEIR RESPECTIVE MATERIALS. OTHER COLORS MAY BE ADDED TO THE LIST AFTER CONSULTATION WITH THE DRB. FINAL COLOR PALETTE SHALL BE IN ACCORDANCE WITH THE SELECTIONS MADE BY THE GROVE DRB. ALL PAINT SELECTIONS SHALL BE "PREMIUM GRADE" OR BETTER.

THE FOLLOWING SHALL NOT BE PERMITTED: PANELIZED WALL MATERIALS, QUOINS, STUCCO COVERED FOAM MOLDINGS BELOW THE SECOND FLOOR, CURVED WINDOWS, WINDOW AIR-CONDITIONING UNITS, EXPOSED EXTERIOR FLUORESCENT LIGHTS, EXPOSED EXTERIOR FLOOD LIGHTS, ABOVE GROUND POOLS (EXCEPT THOSE OF THE INFLATABLE VARIETY), ANTENNAS, FLAGS AND FLAGPOLES (EXCEPT OFFICIAL FLAGS OF COUNTRIES, STATES, COUNTIES AND CITIES FLOWN FROM 6' POLES MOUNTED AT A 45 DEGREE ANGLE TO BUILDING WALLS), DIRECT VENT FIREPLACES, EXTERNAL ALARM SYSTEMS, AND SKYLIGHTS.

VARIANCES TO THE ARCHITECTURAL REGULATIONS MAY BE GRANTED ON THE BASIS OF ARCHITECTURAL MERIT.

THESE REGULATIONS WILL BE UPDATED PERIODICALLY, AND ALL SUBSEQUENT CHANGES WILL APPLY TO ALL BUILDINGS WHICH HAVE YET TO COMPLETE THE SCHEMATIC DESIGN PHASE.

WOOD WHICH IS NOT FINISHED WITH A PAINT OR STAIN IS NOT ALLOWED.

TRIM EXCEEDING 6" IN WIDTH (EXCEPT ACCURATE CLASSICAL TRIM) AND TRIM OF LUMBER WORSE THAN GRADE B ARE NOT ALLOWED.

Building Elements.

TRIM (BALCONY AND PORCH POSTS, RAILS, WINDOW TRIM, RAFTER TAILS, ETC.) SHALL BE PAINTED OR STAINED TO COMPLEMENT THE COLUMNS AND OVERALL VALUE OF THE BUILDING. AN ACCENT COLOR FOR ITEMS SUCH AS THE FRONT DOOR, PICKETS, TRIM, AND SHUTTERS MAY BE USED SUBJECT TO APPROVAL FROM THE GROVE DESIGN REVIEW BOARD.

GARAGE APRONS SHALL BE OF SQUARE OR RECTANGULAR PERVIOUS CONCRETE PAVERS, BRICK OR CONCRETE. PAVERS MUST CONTRAST DRASTICALLY WITH THE STREET SURFACE COLOR.

A **FLAG MOUNT** SHALL BE INSTALLED AT EACH HOUSE AS MANUFACTURED BY THE FLAG PLACE (2618 WEST CHESTER PIKE, BROOMALL, PA 19008; PHONE 800-353-3393) OR EQUAL. MODEL TO BE SELECTED BY THE DRB. THE BRACKET SHALL BE LOCATED ON THE LEFT SIDE OF THE ENTRANCE OF THE PRIMARY FACADE OR PORCH POST FACING THE FRONT ELEVATION AT 7'-0" MIN. AND 10'-0" MAX. ABOVE THE GROUND.

EACH OWNER SHALL INSTALL ON THE PRIMARY ELEVATION A MINIMUM OF ONE **NATURAL GAS LAMP** (MUST BE FLAME LIGHT, MANTELS ARE NOT ALLOWED) AS MANUFACTURED BY BEVELO GAS AND ELECTRIC LIGHTING (521 CONTI ST., NEW ORLEANS, LA 70130; PHONE 504-522-9485) OR EQUAL. MODEL TO BE SELECTED BY THE DRB.

THE FOLLOWING SHALL BE SUBJECT TO APPROVAL FROM THE CAFFERYTOWN DESIGN REVIEW BOARD: BRICK, MORTAR COLORS, AND PATTERNS, FENCE DESIGNS AND EXTERIOR LIGHT FIXTURES.

THE FOLLOWING SHALL BE PERMITTED ONLY IN REAR YARDS AND WHERE NOT EASILY VISIBLE FROM STREET OR PATHS. HANDICAP RAMPS, HVAC EQUIPMENT ("SILENT" MODELS PREFERRED), UTILITY METERS, SATELLITE DISHES, PERMANENT GRILLS, PERMANENT PLAY EQUIPMENT, HOT TUBS (THOSE AT GROUND LEVEL MUST BE COVERED), AND GARBAGE COLLECTION EQUIPMENT.

CARPORTS ARE NOT ALLOWED.

BALCONIES NOT VISIBLY SUPPORTED ON POSTS OR BRACKETS ARE NOT ALLOWED.

CURVED, SCALLOPED, AND/OR BACK LIT AWNINGS, OR BACK LIT SIGNS ARE NOT ALLOWED.

BUILDING ADDRESSES SHALL BE POSTED AS REQUIRED BY LOCAL REQUIREMENTS ON THE MAIN BUILDING. IN ADDITION, THE BUILDING ADDRESS SHALL BE POSTED ON THE ALLEY ABOVE THE GARAGE DOOR OR OTHERWISE VISIBLE FROM THE ALLEY IN THE ABSENCE OF A GARAGE DOOR.

Roofs/Awnings/Canopies.

THE FOLLOWING SHALL NOT BE PERMITTED: METAL FINISHES IN ANY COLOR OTHER THAN THOSE INDICATED IN THIS DOCUMENT OR AS APPROVED BY THE DRB.

EXCESSIVELY COMPLICATED **ROOFS** ARE NOT ALLOWED.

Windows and Doors.

THE FOLLOWING SHALL NOT BE PERMITTED: CURVED WINDOWS.

SLIDING DOORS AND WINDOWS SHALL NOT BE USED.

SHUTTER DOGS SHALL ALWAYS BE MOUNTED TO SECURE SHUTTERS AT THE BOTTOM REGARDLESS OF WHETHER THE SHUTTERS ARE OPERABLE OR NOT.

GABLE ENDS THAT TIE TO A SHED SHALL HAVE THE FASCIA REST ON TOP OF THE SHED ROOF. THERE SHOULD NOT BE A CONNECTION BETWEEN THE HORIZONTAL FASCIA AND THE ANGLED FASCIA OFF RAKE UNLESS CROWNS ARE MATCHED AT ENDS.

SNAP-IN MUNTINS SHALL NOT BE VISIBLE FROM THE EXTERIOR

STAINED OR TINTED GLASS IS NOT ALLOWED.

SHUTTERS THAT ARE NOT SIZED TO COVER THEIR OPENINGS ARE NOT ALLOWED.

PAIRED ENTRY DOORS GREATER THAN 48" AGGREGATE ARE NOT ALLOWED.





Urban Typologies
Example Images

section E Architectural Standards



The Grove Master Plan and Design Codes



Architecture Typologies

ARCHITECTS
SOUTHWEST

The Grove
A Traditional Neighborhood Development

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Baton Rouge, Louisiana

Master Plan and Design Codes



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Design Review





Process Checklist

section **F** Design Review

The Grove . Master Plan and Design Codes

Step 1. DOCUMENTS FAMILIARIZATION

Lot Purchase Agreement
The Entire Design Guideline
The Declaration of Covenants

Step 2. CONCEPT REVIEW

Submit Form A: Concept Review Application
Complete Schematic Drawings
- Site Plan
- Floor Plans
- Elevations
- Variances

Step 3. CONSTRUCTION DOCUMENTS REVIEW

Submit Form A: Sketch Review Application
(Bearing Project Name's Stamp of Approval)
Submit Form B: Construction Document Review Application
Submit Form C: Materials & Finishes List
Complete Construction Documents
- Site Plan
- Floor Plans
- Elevations
- Details
- Coverage Calculations & Storm Water Containment
- Plans
- Landscape Plan
- Variances

F Design Review - Process Checklist

ARCHITECTS
SOUTHWEST

The Grove
A Traditional Neighborhood Development

Master Plan and Design Codes

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Baton Rouge , Louisiana



DRAFT



Design Review Policy

- **Function of the Design Review Process:** To encourage the architectural harmony of The Grove, the developer and all property owners are bound by regulations defined in The Grove Declaration of Covenants and by the requirements contained in this document. To that end, no structure or improvement shall be erected or altered until approvals described in this document have been obtained.
- **Scope of Responsibility:** The Grove has the right to exercise control over all construction in The Grove and will also review all alternations and modifications to structures and improvements (even after initial construction is complete), including, but not limited to: painting, renovations, and landscaping.
- **Enforcing Powers:** Should a violation occur, The Grove has the right to an injunctive relief, which requires the owner to stop, remove, and/or alter any improvements in a manner that complies with the standards established by The Grove. Approval by The Grove does not relieve an owner of his/her obligation to obtain any governmental approvals. If such approvals are required and are not obtained by the owner, The Grove and/or the applicable governmental agency may take whatever actions are necessary against the owner to force compliance.
- **Limitations of Responsibility:** The primary goal of The Grove is to review the submitted applications in order to determine if the proposed construction conforms to The Design Guidelines. The Grove does not assume responsibility for the following:
 - a. The structural adequacy, capacity, or safety features of the structure and/or improvement.
 - b. Non-compatible or unstable soil conditions, soil erosion, etc.
 - c. Compliance with any or all building codes, safety requirements, and governmental laws, regulations or ordinances.
 - d. The performance or quality of work of any architect or contractor.
 - e. Architect/Designer shall review/implement soils tests requirements.

- **The Architectural Review Committee:** Membership shall consist of individuals appointed by The Grove. Meetings are held as requests are received.
- **Review Fees:** Review fees are established by The Grove. The Grove reserves the right to waive these fees at its discretion.
- **Review Policy:** The Grove reviews the submission and either grants approval, approval with stipulations, or denies approval. The owner is notified of the decision in writing and/or drawings within thirty days from the date of receipt. One set of plans will be returned with comments. The Grove may deny approval because the application is incomplete or inadequate. If approval is not granted, a revised application may be submitted and reviewed in the same fashion as the initial application. If the application is denied approval, a formal appeal may be made in writing to The Grove, attn: Architectural Review Committee.
- **Application Withdrawal:** An application for withdrawal may be made without prejudice.
- **Variances.** All variance requests pertaining to The Design Guidelines must be made in writing. Any variance granted shall be considered unique and will not set precedence for future decisions.
- **Approval of Builders.** All builders must be approved by The Grove to build in The Grove. A list of pre-approved builders who understand the high quality of construction expected at The Grove is available from the realtor. A builder not on the list must receive approval by The Grove.
- **Construction Inspection.** Periodic inspections may be made by The Grove while construction is in progress to determine compliance with the approved plans and specifications. The Grove is empowered to enforce its policies as set forth in The Design Guidelines and the Declarations of Covenants by any action, including an action in a court law, to ensure its compliance.
- **Waiver and Additional Requirements.** The Design Guidelines has been adopted to assist the owners in connection with the design review procedure. However, The Grove has the right to waive the Design Guidelines requirements on the basis of architectural merit or demonstrated hardship.





BLOCK: _____

LOT: _____

BUILDING TYPE: _____

OWNER

OWNER: _____
ADDRESS: _____ EMAIL ADDRESS: _____
TELEPHONE: _____ FAX: _____
E-MAIL _____

ARCHITECT

ARCHITECT / DESIGNER: _____
ADDRESS: _____
TELEPHONE: _____ FAX: _____
E-MAIL: _____

LANDSCAPE

LANDSCAPE ARCHITECT (IF SELECTED): _____
ADDRESS: _____
TELEPHONE: _____ FAX: _____
E-MAIL _____

BUILDER

BUILDER (IF SELECTED): _____
ADDRESS: _____
TELEPHONE: _____ FAX: _____
E-MAIL _____

**TWO SETS OF SITE PLANS, FLOOR PLANS, AND ELEVATIONS ARE TO BE SUBMITTED.
ONE STUDY MODEL IS TO BE SUBMITTED (FOR PARTY WALL CONDITIONS).**

DATE SUBMITTED: _____ SIGNATURE: _____





Form B
Construction Document
Review Application

BLOCK: _____

LOT: _____

BUILDING TYPE: _____

OWNER

OWNER: _____
 ADDRESS: _____ EMAIL ADDRESS: _____
 TELEPHONE: _____ FAX: _____
 E-MAIL _____

ARCHITECT

ARCHITECT / DESIGNER: _____
 ADDRESS: _____
 TELEPHONE: _____ FAX: _____
 E-MAIL: _____

LANDSCAPE

LANDSCAPE ARCHITECT (IF SELECTED): _____
 ADDRESS: _____
 TELEPHONE: _____ FAX: _____
 E-MAIL _____

BUILDER

BUILDER (IF SELECTED): _____
 ADDRESS: _____
 TELEPHONE: _____ FAX: _____
 E-MAIL _____

INTERIOR

INTERIOR DESIGNER (IF SELECTED): _____
 ADDRESS: _____
 TELEPHONE: _____ FAX: _____
 E-MAIL: _____

* BE SURE TO SUBMIT CONSTRUCTION DOCUMENT REVIEW PAPERWORK BEFORE SENDING PROJECT OUT TO BID. *

TWO SETS OF THE FOLLOWING DOCUMENTS ARE TO BE SUBMITTED:

- FORM A (STAMPED)
- FORM B
- FORM C

TWO SETS OF THE FOLLOWING DRAWINGS ARE TO BE SUBMITTED:

- SITE PLAN
- FLOOR PLANS
- ELEVATIONS
- DETAILS
- LANDSCAPE PLANS

DATE SUBMITTED: _____ SIGNATURE: _____





Form C
Materials List

BLOCK: _____

LOT: _____

BUILDING TYPE: _____

The Grove . Master Plan and Design Codes section **F** Design Review

ELEMENTS: DESCRIPTION (INCLUDE MANUFACTURER AND PRODUCT # WHERE APPROPRIATE)

RAILINGS _____

CHIMNEY _____

DOORS: MAIN ENTRANCE _____

OTHER _____

DRIVEWAY _____

WALKS _____

GARAGE DOOR _____

FENCE GATES _____

GUTTER _____

LIGHTING _____

DECK _____

ROOFING _____

SHUTTERS _____

SOFFIT _____

WALLS _____

WINDOWS _____

IDENTIFY THE PROPOSED MATERIALS AND COLORS AS NOTED ABOVE. INCLUDE PERTINENT INFORMATION OR SAMPLES, SUCH AS PHOTOGRAPHS OR CUT SHEETS. INCLUDE COLOR SAMPLE BOARD FOR ALL PAINTED, STAINED, OR FACTORY-COLORED MATERIALS.

DATE SUBMITTED: _____ SIGNATURE: _____





Submit two copies of all required documents and drawings to _____, Attn: _____ at:

(Mailing address)

(Physical Address)

(E-Mail Address)

All documents shall include the name of the project, The Grove, block and lot number, building type, owner(s)' name(s), and the date.

Step 1. Review Documents

In order to proceed, you should have reviewed the following documents:

- a. The Lot Purchase Agreement.
- b. The Design Guidelines which consists of the Regulating Plan, the Urban Regulations, and the Architectural Regulations.
- c. The Declaration of Covenants.
- d. The Design Review Procedure (this document).
- e. The list of recommended architects, landscape architects, and approved builders.

Step 2. Sketch Review

This review confirms a correct interpretation of The Design Guidelines. The Grove will stamp the drawings upon approval.

- a. Form A: Sketch Review Application
- b. Schematic Design Drawings as outlined below:
 - Site Plan (1/16" = 1') showing:
 - North arrow
 - Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines.
 - Drives and walks, with dimensions of each.
 - Existing trees shown.
 - Any garden information.
 - Floor plans (1/8" = 1' or 1/4" = 1')
 - Elevations (1/8" = 1' or 1/4" = 1') showing:
 - Porches, balconies, doors, and windows.
 - Principal materials rendered and specified.
 - Height of each floor, eave and maximum height in relation to ground level.
 - Roof pitch.
 - Variances: If there are any variances to The Design Guidelines, submit a description of them and the justification based on merit or hardship.

Step 3. Construction Documents Review

**** Be sure to submit construction Document Review paperwork before sending project out to bid.****

This review checks the construction documents for compliance with The Design Guidelines and verifies that recommendations made at the sketch review have been incorporated. Conformity to applicable local regulations and building codes is the responsibility of your architect or builder. The Grove will stamp the drawings upon approval.

- a. Form A: Sketch Review Application bearing The Grove's stamp of approval.
- b. Form B: Construction Document Review Application
- c. Form C: Materials and Finishes List
- d. Construction Documents as outlined below:
 - Site Plan showing:
 - 1" = 20': Building footprints and setbacks from adjacent properties on all 4 sides. (See Site Plan sketch).
 - 1/16" = 1': North arrow; property lines; and setbacks with dimensions:
 - Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines; location of parking on site; drives and walks with dimensions of each.
 - Floor Plans (1/4" = 1') showing:
 - Rooms dimensioned and uses labeled.
 - All windows and doors with swings shown.
 - All overhangs of doors and roofs as dashed lines.
 - Overall dimensions.
 - Total square footage (enclosed and porches shown separately).

- Elevations (1/4" = 1') showing:
 - Porches, balconies, doors, and windows.
 - Principal materials rendered and specified.
 - Height of each floor, eave and maximum height in relation to ground level.
 - Roof pitch.
- Details (3/4" = 1' or 1-1/2" = 1') showing:
 - Eaves.
 - Door and window surrounds.
 - Porches.
 - Others as requested by The Grove.
- Landscape Plan delineating tree save areas and new plantings by common species names.
- Variances: If there are any variances to The Design Guidelines, submit a description of them and the justification based on merit or hardship.

The Grove will approve, approve with stipulations, or deny continued construction. The owner may also be asked by The Grove to stake out the building, garden walls, fences, and trees to be removed.

If you have not selected a Builder by this time, you should do so now.

